



***The Premier Broker for  
Senior Housing and Healthcare Facilities***

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610.902.3900 or 800.866.5876

## Value Add Lease/Purchase Opportunity



### **ABBE HALL**

**80 Bed Assisted Living Facility**  
(56 Existing and 24 New Construction)

109-113 West Fourth Street  
**Historic South Bethlehem**  
**Northampton County, Pennsylvania**

**Projected Net Income \$1,093,753**

**Exclusive Offering . . . \$3,490,000**

*[www.PrestigeGroupSeniorHousing.com](http://www.PrestigeGroupSeniorHousing.com)*  
*[www.PrestigeGroup.com](http://www.PrestigeGroup.com)*

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## Executive Summary

**ABBE HALL** is an 80 bed assisted living center at 109-113 West Fourth Street in the South Bethlehem neighborhood of the City of Bethlehem, Northampton County, Pennsylvania. Phase One of this project, a 56 bed portion, opened on or about August 1, 2007, Phase Two, a 24 bed annex, will open on or about October 1, 2015 or earlier. The original 21,124 square foot building was constructed as an urban hospital and clinic in the late 1940's. The building meets or exceeds all building requirements for senior care. The project offers secure and adjacent exterior courtyard, off-street parking and other necessary utility space for deliveries.

Utilizing a new paradigm for senior care **ABBE HALL** represents a shift in the current industry model. As younger adults and families moved away from urban areas into suburban locations the builders of retirement centers followed pattern. Most new assisted living facilities have been constructed in suburban locations, away from urban settings that include churches, shopping and cultural events. In most cases, the residents become dependent on the facility to provide transportation to events and activities of daily living. The owners of **ABBE HALL** analyzed the needs of those who seek assisted living and found that the individuals wanted freedom, access to their original communities, availability of services on their schedules and the right to choose when and where to go. To achieve this, a new paradigm was developed to address the needs of older adults, who remain active but seek the security and services of an assisted living facility. South Bethlehem was selected due to the resurgence of this urban community, the historic residential nature, the access to cultural, educational and lifestyle events and the socio-economic structure of the community.

Bethlehem is a city in eastern Pennsylvania. It lies in Northampton and Lehigh counties. Bethlehem borders the cities of Allentown and Easton and is part of the greater Lehigh Valley community. It has an estimated population of around seventy thousand. South Bethlehem, a distinct neighborhood, sits on the south side of the Lehigh River and is in Northampton County. South Bethlehem had been home for Bethlehem Steel and is home for Lehigh University. The South Bethlehem community is currently undergoing a strong resurgence, with significant effort towards preservation of the historic nature of the community.

**ABBE HALL** will take advantage of a revitalized urban community to encourage families to stay close. Fourth Street in South Bethlehem is a major avenue and offers a myriad of options for the residents of **ABBE HALL**. The cultural and athletic centers of Lehigh University are nearby, as are Northampton Senior Services, Bethlehem Public Library, shops, stores and restaurants. The availability of a heightened socialization pattern will enhance the resident's quality of life and allow them to feel less isolated. A significant factor was the number of churches in the community, which allows residents to stay active in the community they feel most comfortable.

## Mission

The mission of **ABBE HALL** is to provide high quality assisted living in a safe and secure urban setting.

## Objectives

The objectives of the **ABBE HALL** are:

1. To create economies of scale, without diminishing the marketing advantage of a care center that offers personalized services in a premier setting.
2. To provide 80 assisted living beds
3. To offer an exterior, secure courtyard for resident use that encourages outdoor activity, yet provides security.
4. To create a more unified exterior physical appearance, helping to promote the historic nature of the community and maintain the architectural value

## Services

**ABBE HALL** provides personal care services in an assisted living environment. In addition to their room, the residents receive three meals, snacks, organized activities, health and medication supervision, housekeeping and laundry services. There is staff on duty 24 hours a day.

## BED AND ROOM ALLOCATION

Floor	Total Beds	High Care Private	Small Private	Private	Semi-Private	Triple
1 <sup>st</sup> FL	18	2	1	-	14	-
2 <sup>nd</sup> FL	31	-	2	5	18	4
3 <sup>rd</sup> FL	31	-	1	3	22	-
<b>Total</b>	80	2	4	8	54	4

**ABBE HALL** provides excellent accommodations in a revitalized urban setting, with excellent access for families and visitors. Meals and snacks are provided from the central kitchen. The facility anticipates an activity director to organize and present therapeutic and recreational activities. There are highly trained residential assistance staff around the clock to provide assistance with bathing, hair care, clothing, and other activities of daily living. A professional nurse will be on duty each day to provide medical assistance, nursing follow-up, and medication distribution.

## Competitive Comparison

		Private	Semi-Private	Multiple Bed
Alexandria Manor (3 Facilities)	317 Beds	\$3,395	\$2,495	N/A
Atria	150 Beds	\$3,400	N/A	N/A
Country Meadows	442 Beds	\$5,890	\$3,372	N/A
Kirkland Village	64 Beds	\$3,380	\$2,900	N/A
Moravian Hall Square	106 Beds	\$4,929	\$4,185	N/A
Moravian Village	60 Beds	\$3,900	\$3,100	N/A
Northampton Village	63 Beds	\$3,410	\$2,325	\$2,200
Sacred Heart at Saucon Creek	120 Beds	\$3,900	\$2,940	\$2,250
Sacred Heart Senior Living	100 Beds	\$3,900	\$2,700	N/A
Saucon Valley Manor	142 Beds	\$3,255	\$2,400	N/A
The Village at Sullivan Trail	60 Beds	\$3,360	\$2,460	\$2,200
<b>AREA WEIGHTED AVERAGE</b>		<b>\$3,884</b>	<b>\$2,888</b>	<b>\$2,217</b>
<b>ABBE HALL</b>	<b>80 Beds</b>	<b>\$2,500</b>	<b>\$1,950</b>	<b>\$1,250</b>

(Rates are averages of the bed rates within a specific category, i.e. all private rooms)

## Market Analysis Summary

The market for assisted living service in Bethlehem is growing substantially. Most of the growth has followed a pattern that leads developers to select suburban locations due to the availability of land. There have been few developed in the core city area. The growth in need has been staggering and the continued growth, as baby boomers age, is geometric. The over 65 cohort in the city of Bethlehem is 17.9%, which is significantly larger than the county and state.

This is a common trend in cities, as younger families move to the suburbs, but older adults stay in their communities, where they have ties to their churches and civic groups. The additional beds created by the expansion will only provide availability to an expanding population base.

## Industry Analysis

The assisted living industry is the fastest growing segment of the senior care industry. Currently outpacing the growth of nursing homes, assisted living provides alternatives to seniors who need assistance but do not need the high cost of professional nursing around the clock. Pennsylvania has had a smaller growth in assisted living because of the very limited state level assistance program. In states where the state assistance has been more generous there has been a greater level of growth. This situation actually presents opportunity. First, there has been limited growth in assisted living facilities, particularly in the Bethlehem area. The lack of growth has allowed the demand for services to exceed availability. This is evidenced in the high occupancy at all existing facilities. Second, the State of Pennsylvania is currently looking at increasing the state assistance program. If this occurs then additional seniors will consider assisted living and, thereby, increase demand even further.

## Strategy and Implementation Summary

The strategy for **ABBE HALL** is to provide a high quality, all inclusive service, priced to meet the needs of those of modest means.

1. **ABBE HALL** is a comfortable place in a culturally active urban setting that was established to serve the average citizen. This initial concept is critical to the overall perception, which the facility will carry for years.
2. Provide ALL services within the stated daily rates. The basic rate with add-ons is like buying a car and then realizing that you have to pay extra for power steering, air conditioning, and other features you consider standard. Families appreciate when the bill each month is exactly as advertised.
3. By constructing this facility in the heart of the redevelopment area, families have access to the arts, through Lehigh University, and other community resources.
4. The price for services should remain just below the basic range of costs currently being charged in the Bethlehem area.

**Photos**



**Photos**





**Photos**



# ABBE HALL ASSISTED LIVING

## FIRST FLOOR

### ACTUAL INCOME

### PROJECTED INCOME

<u>Original Building</u>				<u>Annex Building</u>			
<u>RM#</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>	<u>RM#</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>
101	\$2,000	1	\$2,000	121A	\$1,950	2	\$3,900
102	\$2,200	1	\$2,200	121B	\$1,950		
103A	\$2,000	2	\$3,700	122A	\$1,850	2	\$3,700
103B	\$1,700			122B	\$1,850		
104A	\$1,095	2	\$2,345	123	\$1,950	1	\$1,950
104B	\$1,250			124A	\$1,950	2	\$3,900
105A	\$1,850	2	\$3,700	124B	\$1,950		
105B	\$1,850			<b>Total</b>		<u>7</u>	<u>\$13,450</u>
106A	\$2,600	2	\$2,600				
106B							
107	\$1,950	1	\$1,950				
<b>Total</b>		<u>11</u>	<u>\$18,495</u>				

# ABBE HALL ASSISTED LIVING

## SECOND FLOOR

### ACTUAL INCOME

### PROJECTED INCOME

<u>Original Building</u>				<u>Annex Building</u>			
<u>RM#</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>	<u>RM #</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>
201A	\$1,750	2	\$3,400	221	\$2,600	1	\$2,600
201B	\$1,650			222A	\$1,850	2	\$3,700
202A	\$1,500	2	\$3,000	222B	\$1,850		
202B	\$1,500			223A	\$1,950	2	\$3,900
203	\$1,480	1	\$1,480	223B	\$1,950		
204A	\$1,400	1	\$2,800	224A	\$1,095	4	\$4,380
	\$1,400			224B	\$1,095		
205	\$2,500	1	\$2,500	224C	\$1,095		
206	\$2,600	1	\$2,600	225	\$1,850	1	\$1,850
207A	\$1,075	2	\$2,350	226A	\$1,950	2	\$3,900
207B	\$1,275			226B	\$1,950		
208A	\$1,650	2	\$3,500	<b>Total</b>		<b>11</b>	<b>\$20,330</b>
208B	\$1,850						
209A	\$1,095	2	\$2,190				
209B	\$1,095						
210	\$2,600	1	\$2,600				
211	\$2,170	1	\$2,170				
212	\$1,075	2	\$2,225				
	\$1,150						
213	\$1,850	<u>1</u>	<u>\$1,850</u>				
<b>Total</b>		<b>19</b>	<b>\$32,665</b>				

# ABBE HALL ASSISTED LIVING

## THIRD FLOOR

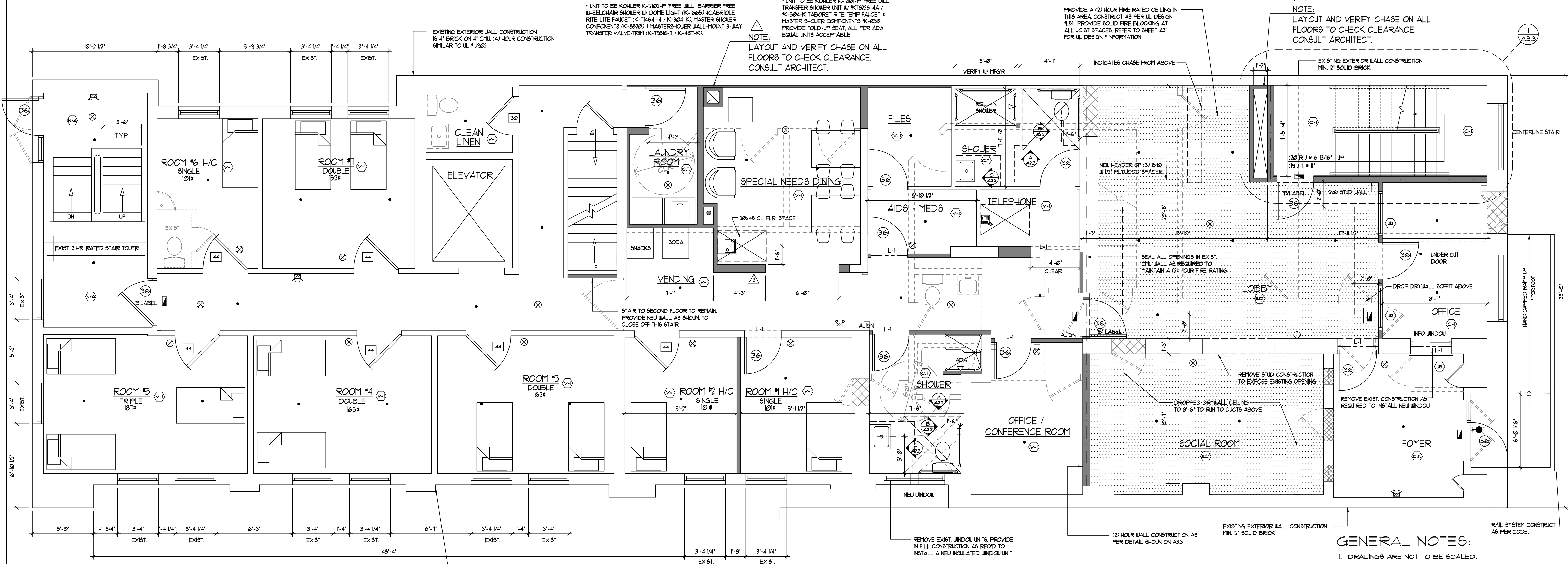
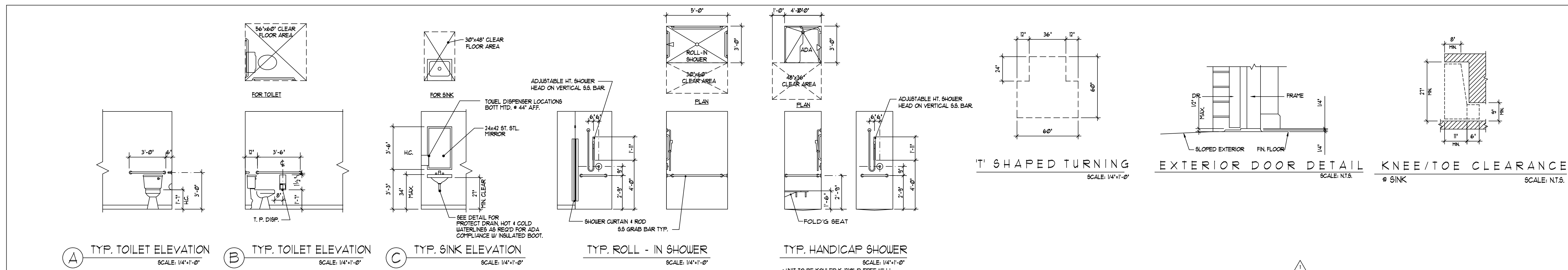
### ACTUAL INCOME

### PROJECTED INCOME

<u>Original Building</u>				<u>Annex Building</u>			
<u>RM#</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>	<u>RM #</u>	<u>RATE</u>	<u>BEDS</u>	<u>TOTAL</u>
301A	\$1,850	2	\$3,700	321	\$2,500	1	\$2,500
301B	\$1,850						
302A	\$1,600	2	\$3,200	322A	\$1,850	2	\$3,700
302B	\$1,600			322B	\$1,850		
303	\$2,450	1	\$2,450	323A	\$1,950	2	\$3,900
304	\$2,600	1	\$2,600	323B	\$1,950		
305A	\$1,450	2	\$2,545	<b>Total</b>		<b>5</b>	<b>\$10,100</b>
305B	\$1,095						
306A	\$1,200	2	\$2,295				
306B	\$1,095						
307A	\$1,095	3	\$3,285				
307B	\$1,095						
307C	\$1,095						
308	\$1,850	1	\$1,850				
309A/B	\$2,200	2	\$2,200				
310A	\$1,095	2	\$2,190				
310B							
311A	\$1,400	2	\$2,525				
311B	\$1,125						
312	\$2,000	1	\$2,000				
313A	\$1,095	2	\$2,190				
313B	\$1,095						
314A	\$1,400	2	\$2,800				
314B	\$1,400						
315	\$2,700	1	\$2,700				
<b>Total</b>		<b>26</b>	<b>\$89,690</b>				
<b>Total Beds:</b>	<b>56</b>			<b>Total New Beds:</b>	<b>24</b>		

# ABBE HALL PERSONNEL

ASSISTED LIVING (79 BEDS)	FTE	HOURS	x	RATE	PAYROLL	TAXES	TOTAL
Administrator	1	2080			\$44,200	\$5,746	\$49,946
Med Techs	3	6240		\$12.00	\$74,880	\$9,734	\$84,614
Med Techs	3	2496		\$12.00	\$29,954	\$3,894	\$33,849
Personal Care Aides	9	18720		\$10.00	\$187,200	\$24,336	\$211,536
Personal Care Aides	9	7488		\$10.00	\$74,880	\$9,734	\$84,614
Activities	1	2080		\$10.00	\$20,800	\$2,704	\$23,504
Housekeeping	2	4160		\$9.00	\$37,440	\$4,867	\$42,307
Head Chef	1	2080		\$12.00	\$24,960	\$3,245	\$28,205
Cooks	2	2288		\$10.00	\$22,880	\$2,974	\$25,854
Dietary Aides	2	4160		\$10.00	\$41,600	\$5,408	\$47,008
Maintenance	1	2080		\$10.00	\$20,800	\$2,704	\$23,504
<b>TOTAL</b>					<b>\$579,594</b>	<b>\$75,347</b>	<b>\$654,942</b>



**GENERAL NOTES:**

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- DIMENSIONS TO NEW PARTITIONS ARE TO ROUGH FRAMING.
- PRIOR TO ERECTING STUDS, CONTRACTOR SHALL REVIEW ALL DIMENSIONS AND LAYOUT CONDITIONS WITH ARCHITECT AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM PLAN.
- PROVIDE BLOCKING FOR ALL OF THE FOLLOWING: ALL RECESSED AND WALL MTD. ACCESSORIES WALL AND BASE CABINETS, COUNTER TOPS
- CONSTRUCT ALL COMPONENTS ACCORDING TO APPLICABLE CODES AND ORDINANCES.
- ALL DOOR HARDWARE SHALL BE LEVER AS APPROVED BY ADA.

36 INDICATES NEW DOOR WIDTH IN INCHES  
44 INDICATES EXISTING DOOR WIDTH IN INCHES

**WALL TYPES:**

- NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS @ 16" O.C. W/ 5/8" DRYWALL BOTH SIDES. USE MR. D.U.I. IN BATHROOMS.
- NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN # SURI 01-9920-614
- EXISTG CONSTRUCTION TO REMAIN.
- EXISTG CONSTRUCTION TO BE REMOVED IF BEARING. PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

**EMERGENCY FIXTURE LEGEND:**

- REMOTE EMERGENCY FIXTURE
- ⊗ SMOKE DETECTOR
- Ⓜ FIRE ALARM AUDIO-VISUAL DEVICE
- Ⓢ FIRE ALARM VISUAL DEVICE ONLY
- Ⓜ FIRE ALARM PULL STATION
- Ⓢ HEAT DETECTOR
- Ⓜ EXIT LIGHT
- Ⓜ EMERGENCY LIGHTING W/ BATTERY UNIT
- Ⓜ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
- FIRE EXTINGUISHER
- SPRINKLER HEAD (INSTALL AS PER NFPA-13 EXACT LAYOUT & HYDRAULIC CALCULATIONS BY SPRINKLER CONTRACTOR)

**FLOOR FINISH SCHEDULE**

- CT CERAMIC TILE
- C-1 CARPET
- V-1 VINYL
- PF-1 PAINT EXIST. FLOOR
- QT QUARRY TILE
- WF WOOD FLOORING
- N/A NON-APPLICABLE

**LINTEL SCHEDULE**

LINTEL	SIZE
L-1	(2) ANGLE 3 1/2 x 5 1/2 x 1/4 OR MIN. (2) 2x10

**BED COUNT**

3	SINGLES	=	3	BEDS
3	DOUBLES	=	6	BEDS
1	TRIPLE	=	3	BEDS
7	TOTAL	=	12	BEDS

**MINIMUM REQUIRED FIXTURES**

2	SHOWERS	=	1:10	BEDS
2	TOILETS	=	1:6	BEDS

**FLOOR FINISH DETAILS:**

- ONE-WAY GLASS WIRE GLASS
- WIRE GLASS
- FIELD VERIFY EXIST. OPENING
- ALUMINUM
- SLIDING ALUMINUM

**FIRST FLOOR PLAN**

REVISED: 12-12-05  
REVISED: 12-27-05  
REVISED: 01-26-06 AS PER CODE  
REVISED: 01-26-06 FLOOR FINISHES

12-12-05

**LEE ARCHITECTURAL ASSOCIATES**

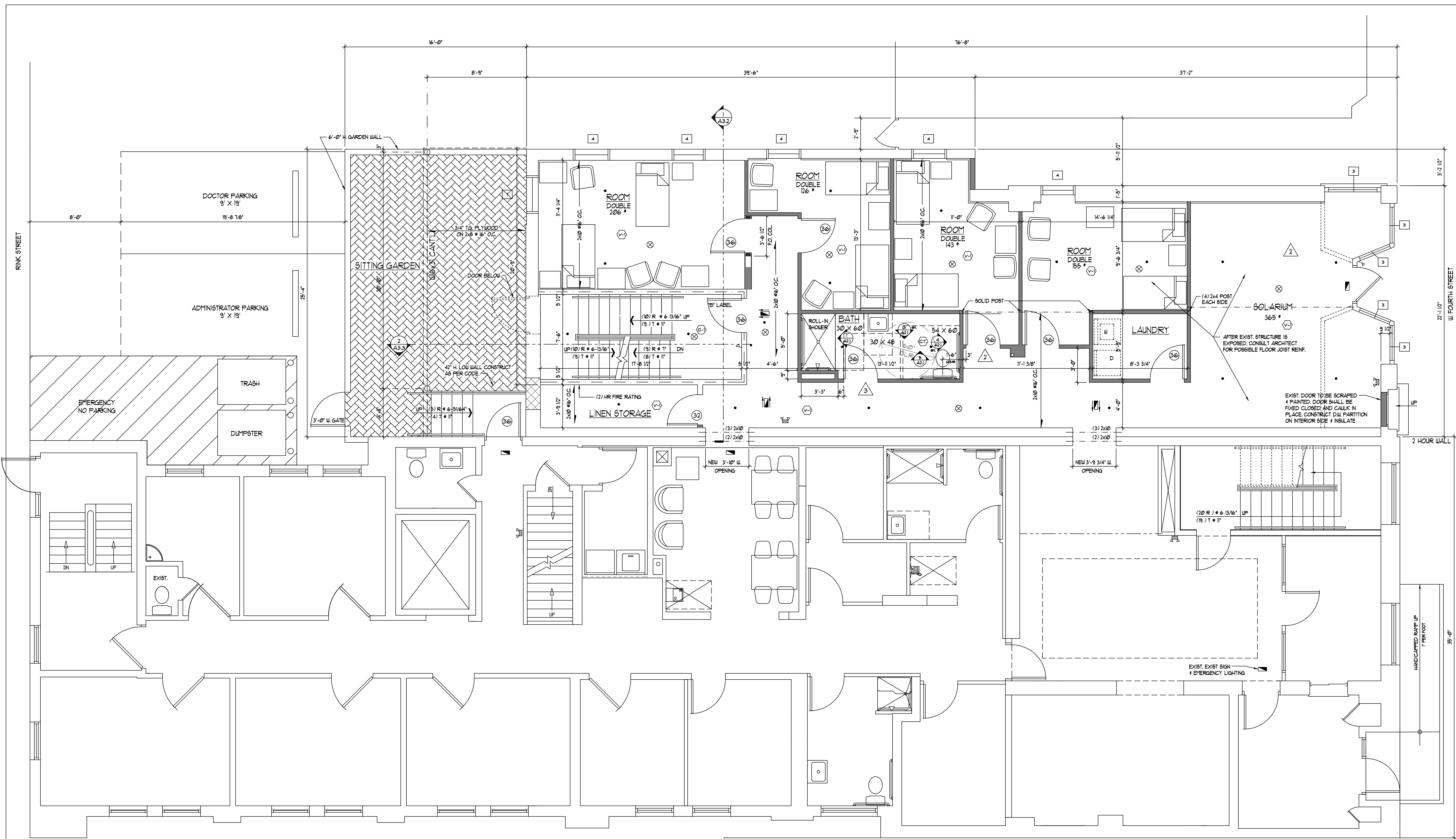
310 S. NEW ST. BETHLEHEM, PA 18015  
PH: (610) 865-6666 FAX: (610) 865-6666

**PROJ. #04040**

**ABBE HALL PERSONAL CARE HOME**

111-113 W. FOURTH ST. BETHLEHEM, PA

**A2.2**



1st FLOOR BED COUNT	
EXISTING BUILDING	
3 SINGLES	= 3 BEDS
3 DOUBLES	= 6 BEDS
1 TRIPLE	= 3 BEDS
TOTAL	= 12 BEDS
NEW BUILDING	
4 DOUBLES	= 8 BEDS
TOTAL	= 8 BEDS
FIRST FLOOR TOTAL	= 20 BEDS

WINDOW LEGEND	
1	REMOVE EXIST. WINDOW IN ITS ENTIRETY AND INSTALL NEW WINDOW W/ INSULATED GLAZING. CAP ALL TRIM W/ ALUM. CLADDING & CAULK IN PLACE.
2	REMOVE EXIST. CONSTRUCTION AS REQUIRED TO INSTALL A NEW (2) 2x4 MIN. LINTEL OR (2) 3 1/2x5 1/2 IN MASONRY WALLS) AND NEW WINDOW OF SIZE TO MATCH EXISTING.
3	NEW ALUM. FRAME WINDOW SYSTEM W/ INSULATED AND TINTED GLAZING SYSTEM.
4	RETAIN EXIST. INSULATED WINDOW UNIT, CAULK, TRIM AND FINISH AS REQ'D BY NEW CONSTRUCTION.

FLOOR FINISH SCHEDULE	
1	CERAMIC TILE
2	CARPET
3	VINYL
4	PAINT EXIST. FLOOR
5	QUARRY TILE
6	WOOD FLOORING
7	NON-APPLICABLE

WALL TYPES:	
1	NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS #16" O.C. W/ 5/8" DRYWALL BOTH SIDES. USE FIRE DUL IN BATHROOMS.
2	NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN UP-4730.
3	EXIST'G CONSTRUCTION TO REMAIN.
4	EXIST'G CONSTRUCTION TO BE REMOVED IF BEARING. PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

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  - PROVIDE BLOCKING FOR ALL OF THE FOLLOWING: ALL RECESSED AND WALL MTD. ACCESSORIES WALL AND BASE CABINETS, COUNTER TOPS
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- 36 INDICATES NEW DOOR WIDTH IN INCHES  
 44 INDICATES EXISTING DOOR WIDTH IN INCHES

109 W. FOURTH STREET SOUTH BETHLEHEM, PA	
1	PROPOSED FIRST FLOOR - (3) DOUBLE OCCUPANT SLEEPING ROOMS AND (1) SINGLE OCCUPANT SLEEPING ROOMS.
2	PROPOSED FIRST FLOOR - (1) FULL SHOWER / BATHS
3	DEMOLISH REAR 25' X 40' 2 CAR GARAGE
4	ADD OPEN GARDEN AND PARKING
5	PROPOSED AREA QUINNED AND OPERATED IN CONJUNCTION WITH ASSISTED CARE FACILITY

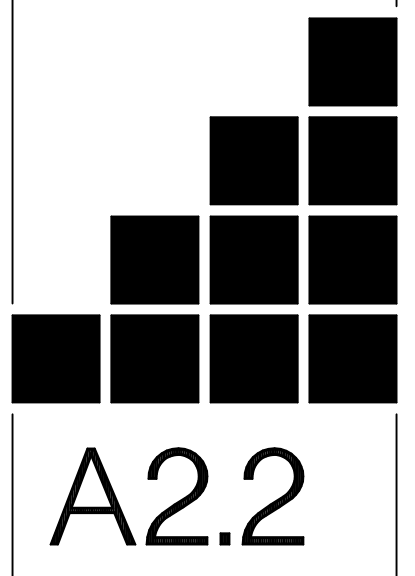
**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

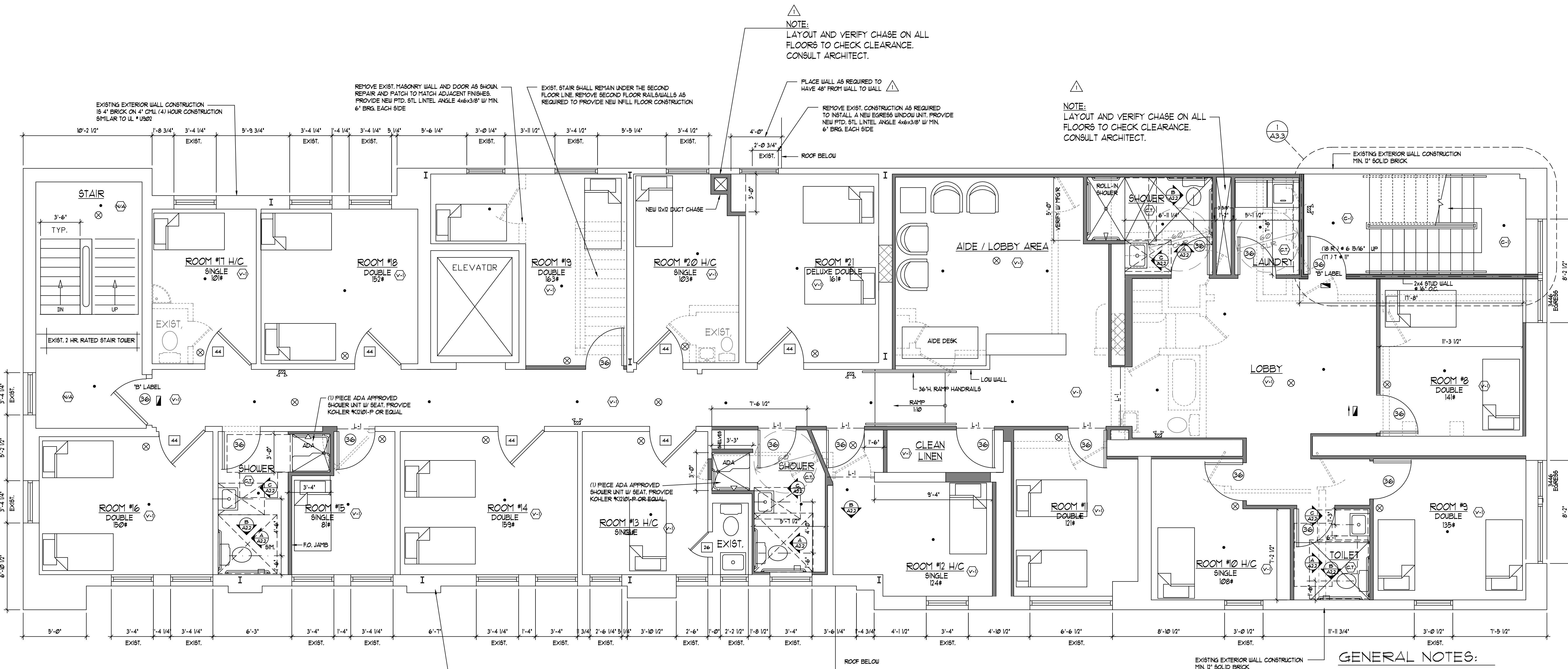
FIRST FLOOR PLAN  
 REVISIONS:  
 02-19-07  
 REVISION: 02-06-07 ROOF COUNT  
 REVISION: 04-16-07 REVISED PER CITY REVIEW  
 REVISION: 04-17-07 REVISED PER CITY REVIEW

LEE ARCHITECTURAL ASSOCIATES  
 310 S. NEW ST. BETHLEHEM, PA 18015  
 PH: (610) 865-6666 FAX: (610) 865-0566

PROJ. #06023

ABBE HALL EXPANSION  
 PERSONAL CARE HOME  
 111-113 - 115 W. FOURTH ST. BETHLEHEM PA





**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FLOOR FINISH SCHEDULE**

(C1)	CERAMIC TILE
(C2)	CARPET
(V1)	VINYL
(P1)	PAINT EXIST. FLOOR
(Q1)	QUARRY TILE
(W1)	WOOD FLOORING
(N/A)	NON-APPLICABLE

**BED COUNT**

6	SINGLES	=	6	BEDS
8	DOUBLES	=	16	BEDS
14	TOTAL	=	22	BEDS

**MINIMUM REQUIRED FIXTURES**

3	SHOWERS	=	1:10	BEDS
4	TOILETS	=	1:16	BEDS

**EMERGENCY FIXTURE LEGEND:**

- REMOTE EMERGENCY FIXTURE
- ⊗ SMOKE DETECTOR
- ⊕ FIRE ALARM AUDIO-VISUAL DEVICE
- ⊖ FIRE ALARM VISUAL DEVICE ONLY
- ⊞ FIRE ALARM PULL STATION
- ⊟ HEAT DETECTOR
- ⊠ EXIT LIGHT
- ⊡ EMERGENCY LIGHTING W/ BATTERY UNIT
- ⊣ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
- FIRE EXTINGUISHER
- SPRINKLER HEAD (INSTALL AS PER NFPA-13 EXACT LAYOUT & HYDRAULIC CALCULATIONS BY SPRINKLER CONTRACTOR)

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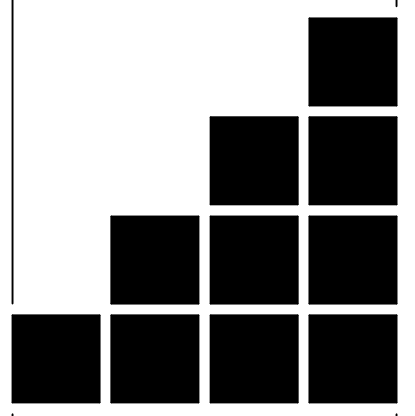
SECOND FLOOR PLAN

12-12-05

**LEE ARCHITECTURAL ASSOCIATES**

PROJ. #04040

**ABBE HALL PERSONAL CARE HOME**  
111-113 W. FOURTH ST. BETHLEHEM, PA

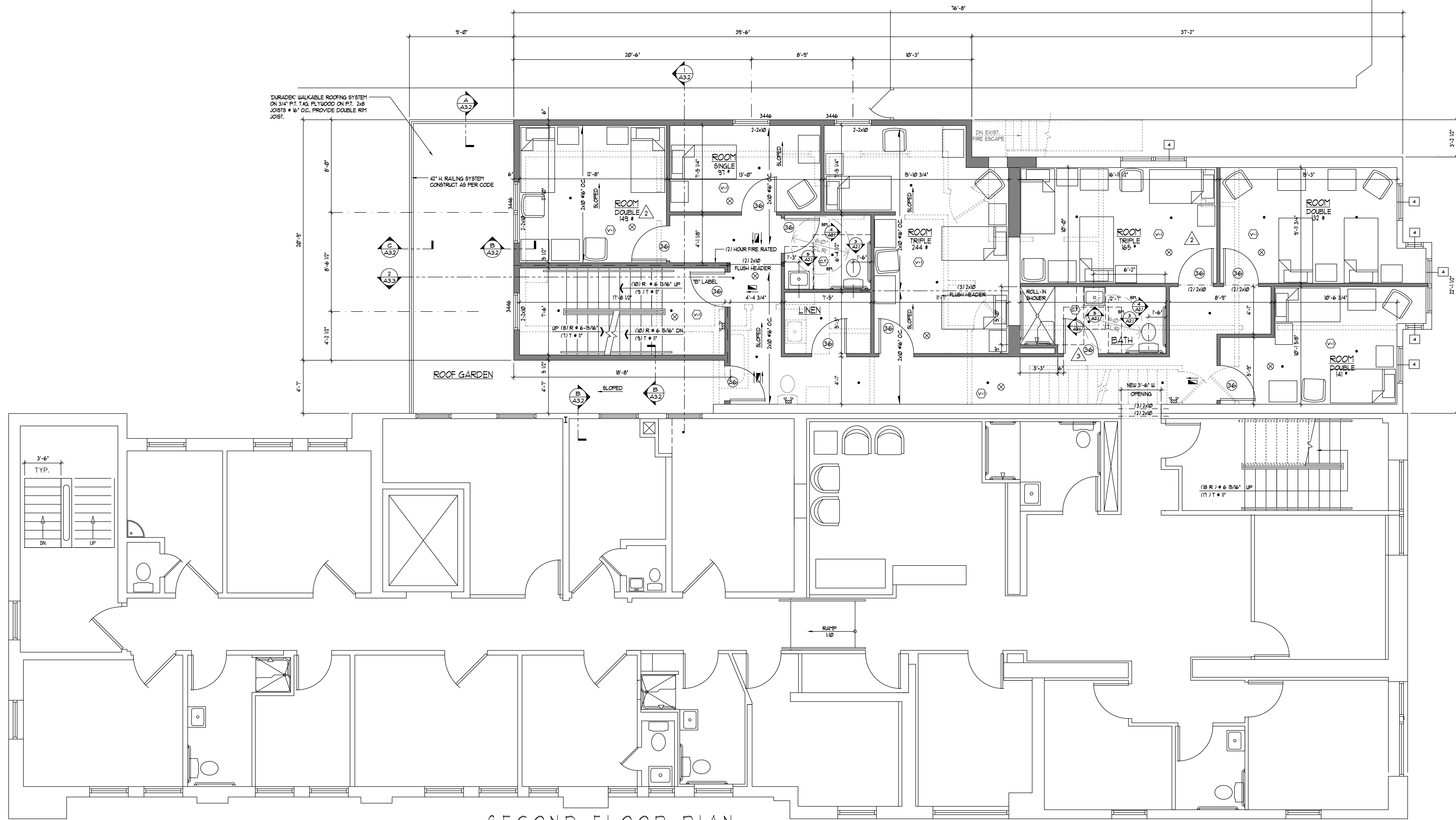


**A2.3**

REVISIONS:  
 12-12-05  
 12-12-05  
 12-12-05

310 S. NEW ST. BETHLEHEM, PA 18015  
 PH: (610) 865-6666 FAX: (610) 865-0666





SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

EMERGENCY FIXTURE LEGEND:

- REMOTE EMERGENCY FIXTURE
- ⊗ SMOKE DETECTOR
- Ⓜ FIRE ALARM AUDIO-VISUAL DEVICE
- Ⓜ FIRE ALARM VISUAL DEVICE ONLY
- Ⓜ FIRE ALARM PULL STATION
- Ⓜ HEAT DETECTOR
- Ⓜ EXIT LIGHT
- Ⓜ EMERGENCY LIGHTING W/ BATTERY UNIT
- Ⓜ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
- FIRE EXTINGUISHER
- SPRINKLER HEAD (INSTALL AS PER NFPA-13 EXACT LAYOUT & HYDRAULIC CALCULATIONS BY SPRINKLER CONTRACTOR)

FLOOR FINISH SCHEDULE

Ⓜ	CERAMIC TILE
Ⓜ	CARPET
Ⓜ	VINYL
Ⓜ	PANT EXIST. FLOOR
Ⓜ	QUARRY TILE
Ⓜ	WOOD FLOORING
Ⓜ	NON-APPLICABLE

WINDOW LEGEND

1	REMOVE EXIST. WINDOW IN ITS ENTIRETY AND INSTALL NEW WINDOW W/ INSULATED GLAZING. CAP ALL TRIM W/ ALUM. CLADDING & CAULK IN PLACE
2	REMOVE EXIST. CONSTRUCTION AS REQUIRED TO INSTALL A NEW (2) 2'x4' MIN. LINTEL OR (2) 3'1/2"x5'1/2" MASONRY WALLS AND NEW WINDOWS OF SIZE TO MATCH EXISTING.
3	NEW ALUM. FRAME WINDOW SYSTEM W/ INSULATED AND TINTED GLAZING SYSTEM
4	RETAIN EXIST. INSULATED WINDOW UNIT, CAULK, TRIM AND FINISH AS REQ'D BY NEW CONSTRUCTION

2nd FLOOR BED COUNT

EXISTING BUILDING	
6 SINGLES	= 6 BEDS
8 DOUBLES	= 16 BEDS
<b>TOTAL</b>	<b>= 22 BEDS</b>
NEW BUILDING	
1 SINGLE	= 1 BEDS
3 DOUBLES	= 6 BEDS
2 TRIPLE	= 6 BEDS
<b>TOTAL</b>	<b>= 13 BEDS</b>
<b>SECOND FLOOR TOTAL</b>	<b>= 35 BEDS</b>

WALL TYPES:

---	NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS @16" O.C. W/ 5/8" DRYWALL BOTH SIDES. USE MR. DIM. IN BATHROOMS.
---	NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN UP 4230
---	EXIST'G CONSTRUCTION TO REMAIN.
---	EXIST'G CONSTRUCTION TO BE REMOVED IF BEARING. PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
  2. DIMENSIONS TO NEW PARTITIONS ARE TO ROUGH FRAMING.
  3. PRIOR TO ERECTING STUDS, CONTRACTOR SHALL REVIEW ALL DIMENSIONS AND LAYOUT CONDITIONS WITH ARCHITECT AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM PLAN.
  4. PROVIDE BLOCKING FOR ALL OF THE FOLLOWING: ALL RECESSED AND WALL MTD. ACCESSORIES WALL AND BASE CABINETS, COUNTER TOPS
  5. CONSTRUCT ALL COMPONENTS ACCORDING TO APPLICABLE CODES AND ORDINANCES.
  6. ALL DOOR HARDWARE SHALL BE LEVER AS APPROVED BY ADA.
- Ⓜ INDICATES NEW DOOR WIDTH IN INCHES  
Ⓜ INDICATES EXISTING DOOR WIDTH IN INCHES

109 W. FOURTH STREET  
SOUTH BETHLEHEM, PA

• PROPOSED SECOND FLOOR- (5) DOUBLE OCCUPANT SLEEPING ROOMS AND (1) SINGLE OCCUPANT SLEEPING ROOMS.  
• PROPOSED SECOND FLOOR- (1) FULL SHOWER / BATHS  
• DEMOLISH REAR 29' X 40' CAR GARAGE

• PROPOSED AREA OWNED AND OPERATED IN CONJUNCTION WITH ASSISTED CARE FACILITY

SECOND FLOOR PLAN

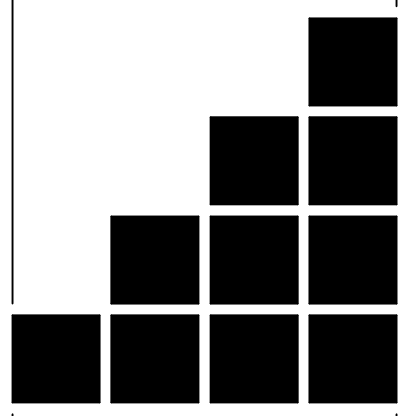
- △ REVISED: 03-06-07 ROOM COUNT
- △ REVISED: 04-26-07 PER CITY REVIEW
- △ REVISED: 04-27-07 PER CITY REVIEW

02-10-07

LEE ARCHITECTURAL ASSOCIATES  
310 S. NEW ST. BETHLEHEM, PA 18015  
PH: (610) 865-6666 FAX: (610) 865-0566

PROJ. #06023

ABBE HALL  
PERSONAL CARE HOME  
111-113 W. FOURTH ST. BETHLEHEM, PA



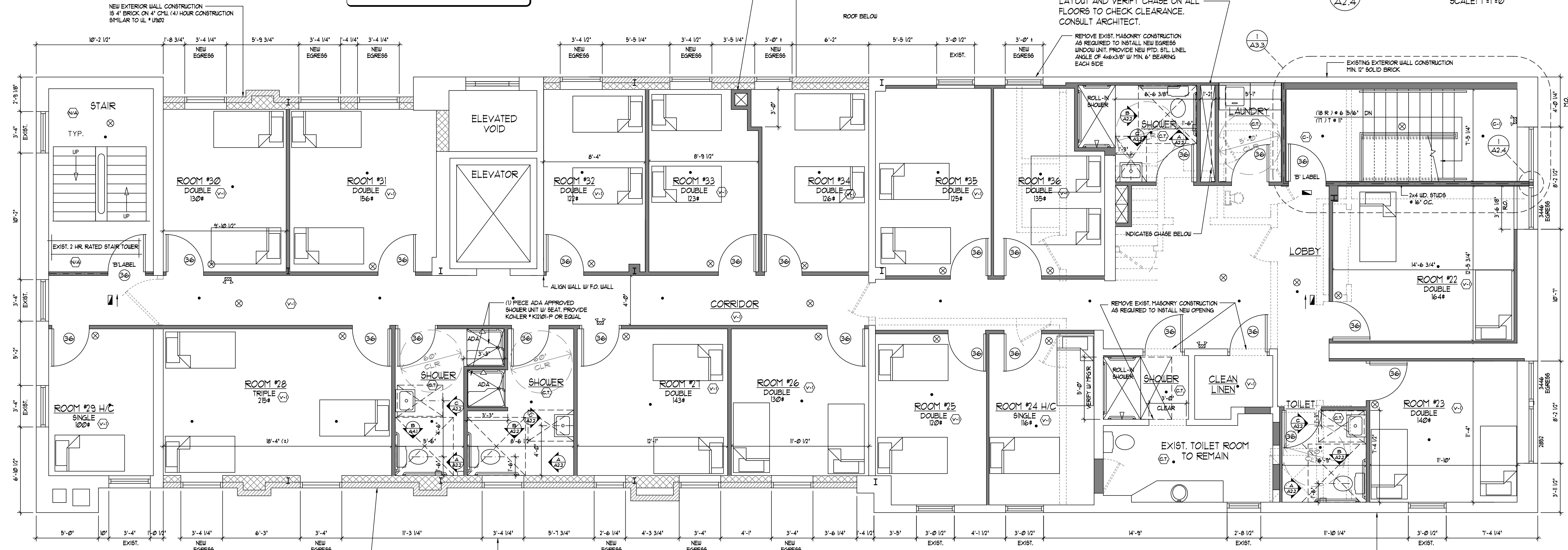
A2.3

NOTE:  
CONTRACTOR VERIFY WINDOW LOCATIONS  
TO ALIGN WITH WINDOWS BELOW.

NOTE:  
LAYOUT AND VERIFY CHASE ON ALL  
FLOORS TO CHECK CLEARANCE.  
CONSULT ARCHITECT.

NOTE:  
LAYOUT AND VERIFY CHASE ON ALL  
FLOORS TO CHECK CLEARANCE.  
CONSULT ARCHITECT.

1 DETAIL  
A2.4 SCALE: 1"=1'-0"



NEW EXTERIOR WALL CONSTRUCTION  
IS 4" BRICK ON 4" CMU (4) HOUR CONSTRUCTION  
SIMILAR TO UL \* U922

NOTE:  
CONTRACTOR VERIFY WINDOW LOCATIONS  
TO ALIGN WITH WINDOWS BELOW.

THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR FINISH SCHEDULE

(C1)	CERAMIC TILE
(C2)	CARPET
(V1)	VINYL
(P1)	PAINT EXIST. FLOOR
(Q1)	QUARRY TILE
(W1)	WOOD FLOORING
(NA)	NON-APPLICABLE

BED COUNT

2	SINGLES	=	2	BEDS
12	DOUBLES	=	24	BEDS
1	TRIPLES	=	3	BEDS
15	TOTAL	=	29	BEDS

MINIMUM REQUIRED FIXTURES

4	SHOWERS	=	1:10	BEDS
5	TOILETS	=	1:6	BEDS

EMERGENCY FIXTURE LEGEND:

- REMOTE EMERGENCY FIXTURE
- ⊗ SMOKE DETECTOR
- ⊕ FIRE ALARM AUDIO-VISUAL DEVICE
- ⊖ FIRE ALARM VISUAL DEVICE ONLY
- ⊞ FIRE ALARM PULL STATION
- ⊙ HEAT DETECTOR
- ⊟ EXIT LIGHT
- ⊚ EMERGENCY LIGHTING W/ BATTERY UNIT
- ⊛ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
- FIRE EXTINGUISHER
- SPRINKLER HEAD (INSTALL AS PER NFPA-13 EXACT LAYOUT & HYDRAULIC CALCULATIONS BY SPRINKLER CONTRACTOR)

GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
2. DIMENSIONS TO NEW PARTITIONS ARE TO ROUGH FRAMING.
3. PRIOR TO ERECTING STUDS, CONTRACTOR SHALL REVIEW ALL DIMENSIONS AND LAYOUT CONDITIONS WITH ARCHITECT AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM PLAN.
4. PROVIDE BLOCKING FOR ALL OF THE FOLLOWING: ALL RECESSED AND WALL MTD. ACCESSORIES WALL AND BASE CABINETS, COUNTER TOPS
5. CONSTRUCT ALL COMPONENTS ACCORDING TO APPLICABLE CODES AND ORDINANCES.
6. ALL DOOR HARDWARE SHALL BE LEVER AS APPROVED BY ADA.

WALL TYPES:

- NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS @ 16" O.C. W/ 5/8" DRYWALL BOTH SIDES. USE MR. D.U. IN BATHROOMS.
- NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN \* SURI 01-5920-614
- EXISTG CONSTRUCTION TO REMAIN.
- EXISTG CONSTRUCTION TO BE REMOVED.

THIRD FLOOR PLAN

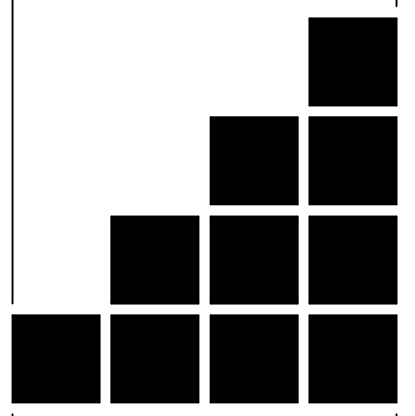
12-12-05

LEE ARCHITECTURAL ASSOCIATES

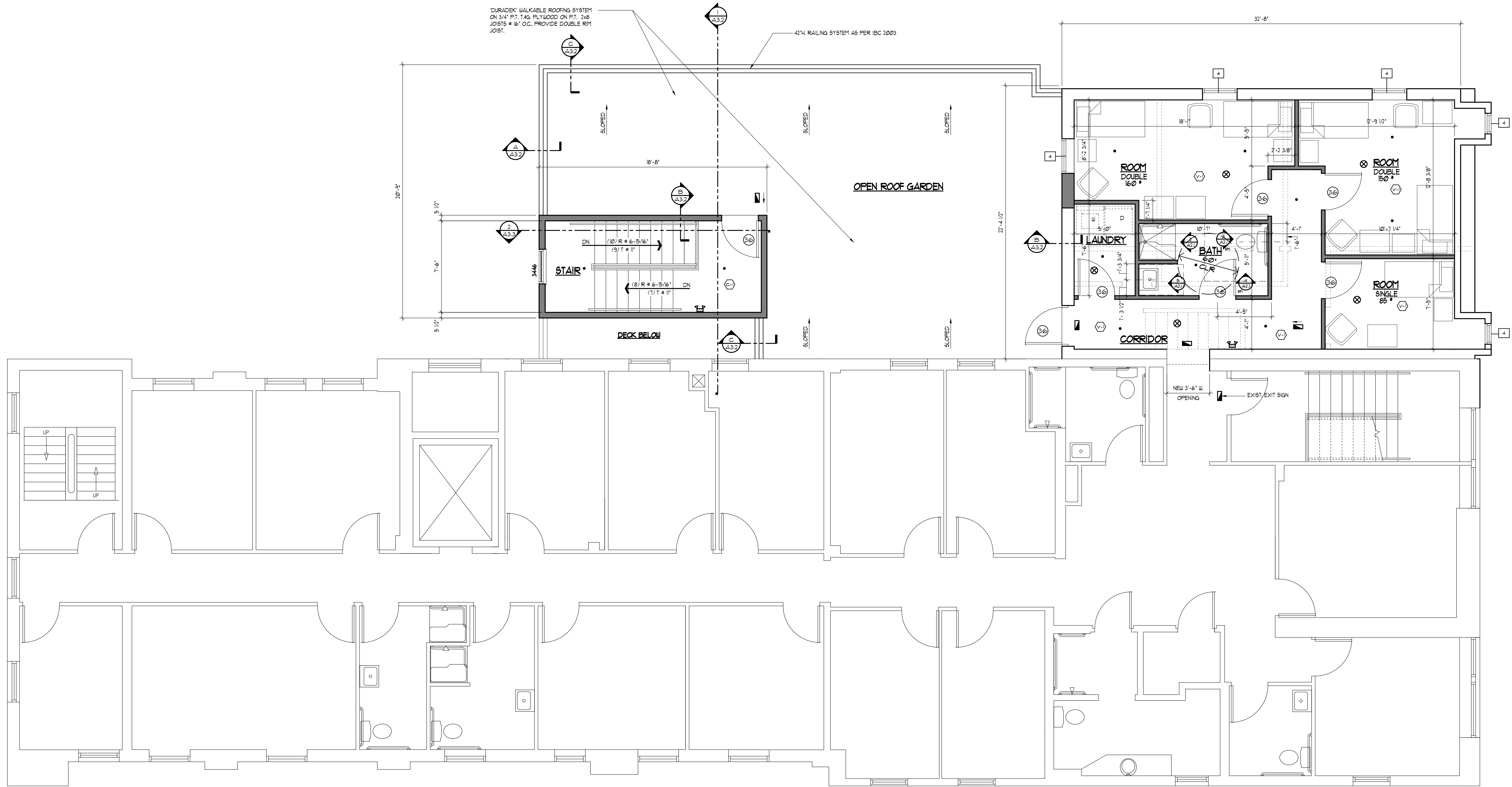
310 S. NEW ST. BETHLEHEM, PA 18015  
PH: (610) 865-6666 FAX: (610) 865-0566

PROJ. #04040

ABBE HALL PERSONAL CARE HOME  
1111 W. FOURTH ST. BETHLEHEM, PA



A2.4



**THIRD FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**EMERGENCY FIXTURE LEGEND:**

- REMOTE EMERGENCY FIXTURE
- ⊗ SMOKE DETECTOR
- ⊕ FIRE ALARM AUDIO-VISUAL DEVICE
- ⊖ FIRE ALARM VISUAL DEVICE ONLY
- ⊞ FIRE ALARM PULL STATION
- ⊙ HEAT DETECTOR
- ⊟ EXIT LIGHT
- ⊠ EMERGENCY LIGHTING W/ BATTERY UNIT
- ⊡ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
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- SPRINKLER HEAD (INSTALL AS PER NFPA-13 EXACT LAYOUT & HYDRAULIC CALCULATIONS BY SPRINKLER CONTRACTOR)

3rd FLOOR BED COUNT	
<b>EXISTING BUILDING</b>	
2 SINGLES	= 2 BEDS
12 DOUBLES	= 24 BEDS
1 TRIPLE	= 3 BEDS
<b>TOTAL</b>	<b>= 29 BEDS</b>
<b>NEW BUILDING</b>	
1 DOUBLES	= 1 BEDS
2 DOUBLES	= 4 BEDS
<b>TOTAL</b>	<b>= 5 BEDS</b>
<b>THIRD FLOOR TOTAL</b>	<b>= 34 BEDS</b>

WINDOW LEGEND	
1	REMOVE EXIST. WINDOW IN ITS ENTIRETY AND INSTALL NEW WINDOW W/ INSULATED GLAZING. CAP ALL TRIM W/ ALUM. CLADDING & CAULK IN PLACE.
2	REMOVE EXIST. CONSTRUCTION AS REQUIRED TO INSTALL A NEW (2) 3/4" MIN. LINTELORE (2) 3/16" 1/2" IN MASONRY WALLS) AND NEW WINDOWS OF SIZE TO MATCH EXISTING.
3	NEW ALUM. FRAME WINDOW SYSTEM W/ INSULATED AND TINTED GLAZING SYSTEM.
4	RETAIN EXIST. INSULATED WINDOW UNIT, CAULK, TRIM AND FINISH AS REQ'D BY NEW CONSTRUCTION.

FLOOR FINISH SCHEDULE	
CT	CERAMIC TILE
C	CARPET
V	VINYL
PF	PAINT EXIST. FLOOR
QT	QUARRY TILE
WF	WOOD FLOORING
NA	NON-APPLICABLE

**WALL TYPES:**

- NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS @ 16" o.c. w/ 5/8" DRYWALL BOTH SIDES. USE M.R. D.U. IN BATHROOMS.
- NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN UP-4230
- EXIST'G CONSTRUCTION TO REMAIN.
- EXIST'G CONSTRUCTION TO BE REMOVED IF BEARING. PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

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- ⊙ INDICATES NEW DOOR WIDTH IN INCHES  
⊞ INDICATES EXISTING DOOR WIDTH IN INCHES

THIRD FLOOR PLAN

REVISED: 03-26-07 ROPY/COAT

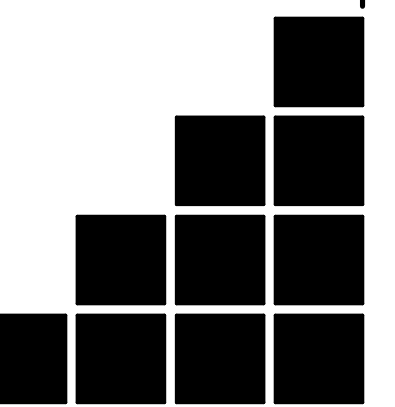
02-19-07

LEE ARCHITECTURAL ASSOCIATES

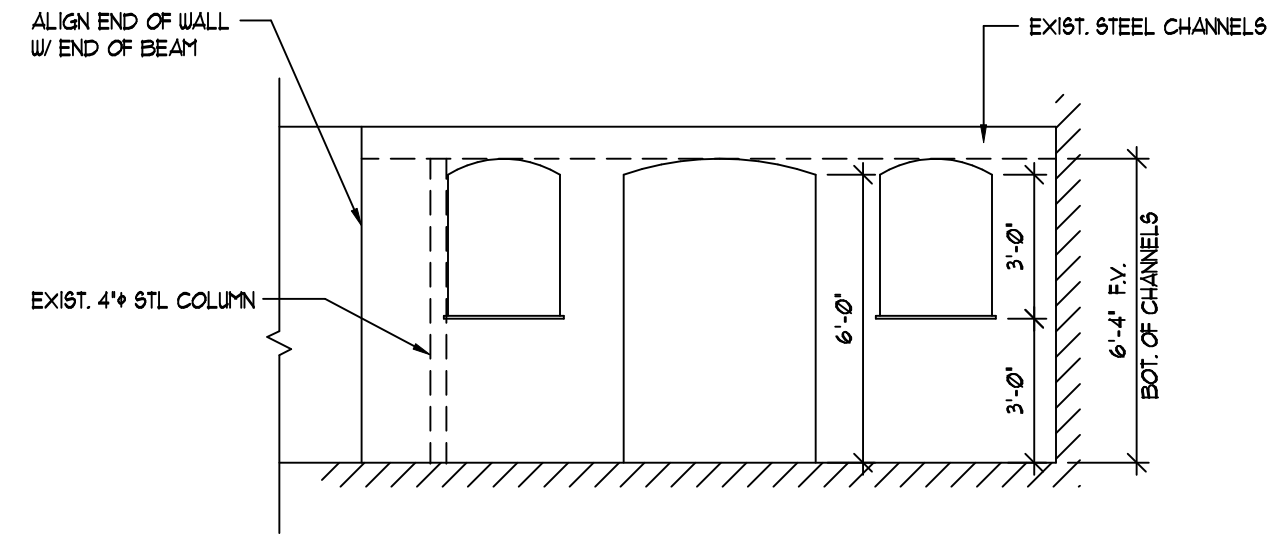
310 S. NEW ST. BETHLEHEM, PA 18015  
PH: (610) 865-6666 FAX: (610) 865-0566

PROJ. #06023

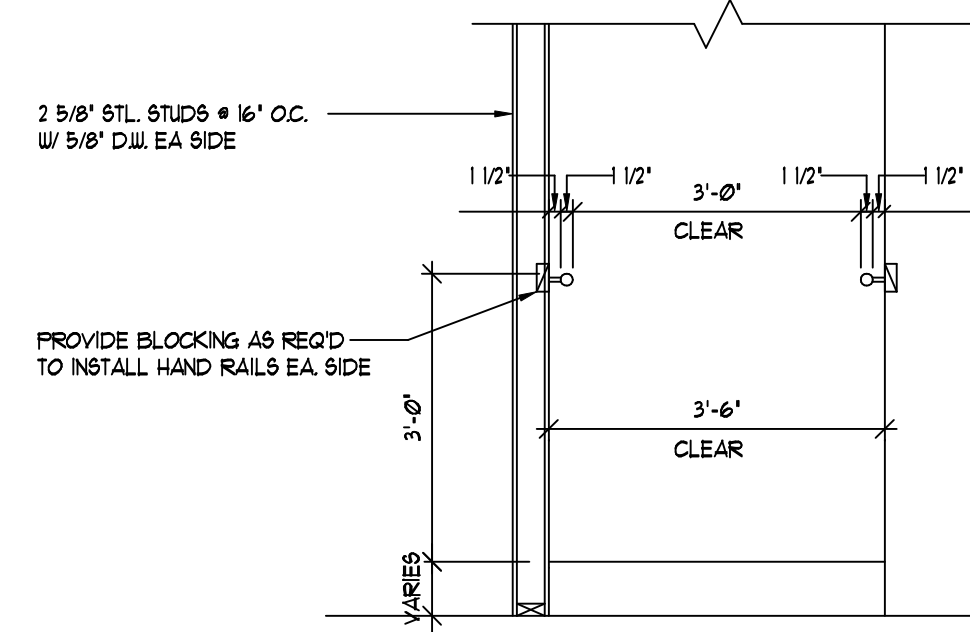
ABBE HALL PERSONAL CARE HOME  
111-113 W. FOURTH ST. BETHLEHEM, PA



A2.4



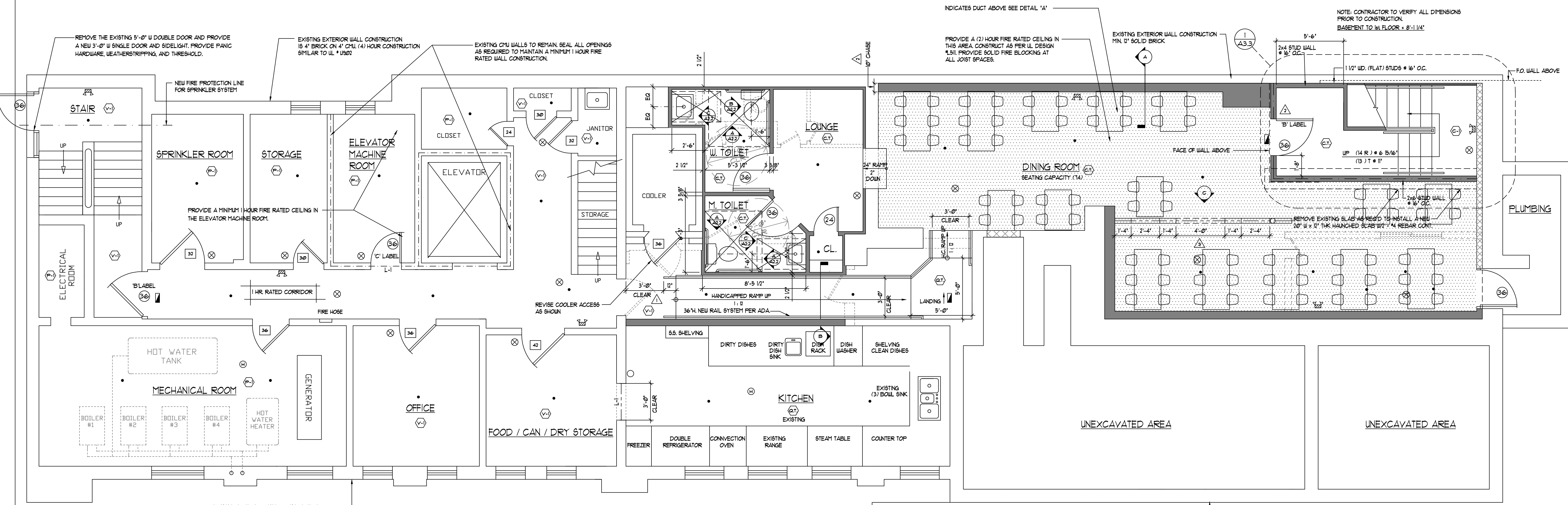
**ELEVATION 'C'**  
SCALE: 1/4"=1'-0"



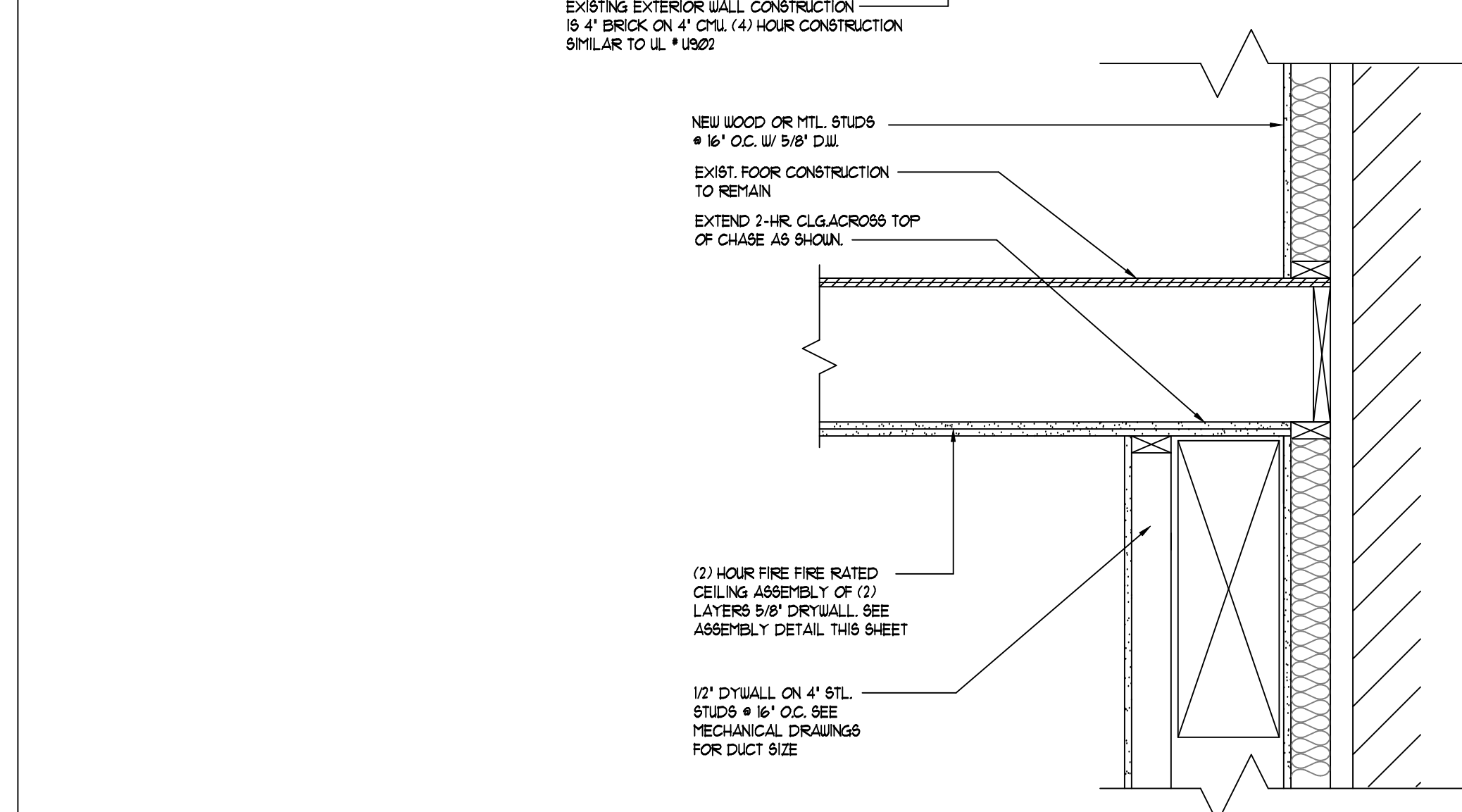
**SECTION 'B'**  
SCALE: 1/2"=1'-0"



2 HOUR FLOOR/CEILING ASSEMBLY



**BASEMENT PLAN**  
SCALE: 1/4"=1'-0"



**SECTION 'A'**  
SCALE: 1"=1'-0"

**FLOOR FINISH SCHEDULE**

(CT)	CERAMIC TILE
(C)	CARPET
(V)	VINYL
(P)	PAINT EXIST. FLOOR
(QT)	QUARRY TILE
(WF)	WOOD FLOORING
(N/A)	NON-APPLICABLE

**BUILDING INFORMATION**

CODE	IBC 2003
OCCUPANCY / USE	I-1
CONSTRUCTION TYPE	3-B
- BUILDING SHALL BE SPRINKLERED PER NFPA-13	
- BUILDING STORIES	MAX. PER CODE 4 PROVIDED 4
- SQUARE FOOTAGE	MAX. PER CODE 30,000 PROVIDED 16,800

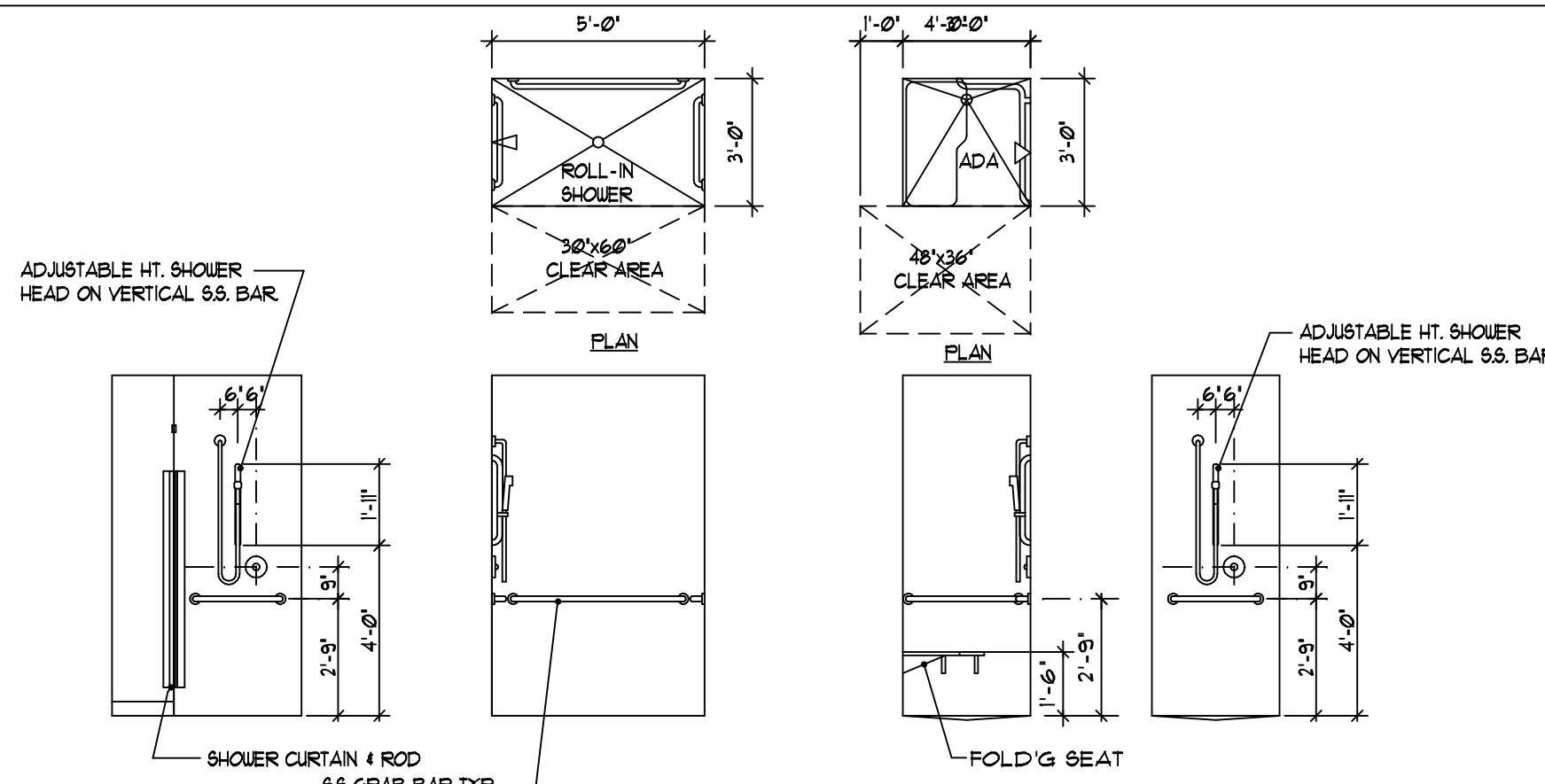
- EMERGENCY FIXTURE LEGEND:**
- REMOTE EMERGENCY FIXTURE
  - ⊗ SMOKE DETECTOR
  - ⊕ FIRE ALARM AUDIO-VISUAL DEVICE
  - ⊖ FIRE ALARM VISUAL DEVICE ONLY
  - ⊞ FIRE ALARM PULL STATION
  - ⊙ HEAT DETECTOR
  - ⊟ EXIT LIGHT
  - ⊠ EMERGENCY LIGHTING W/ BATTERY UNIT
  - ⊡ EMERGENCY REMOTE LIGHTING HEAD FIXTURE
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  - ALL DOOR HARDWARE SHALL BE LEVER AS APPROVED BY ADA.

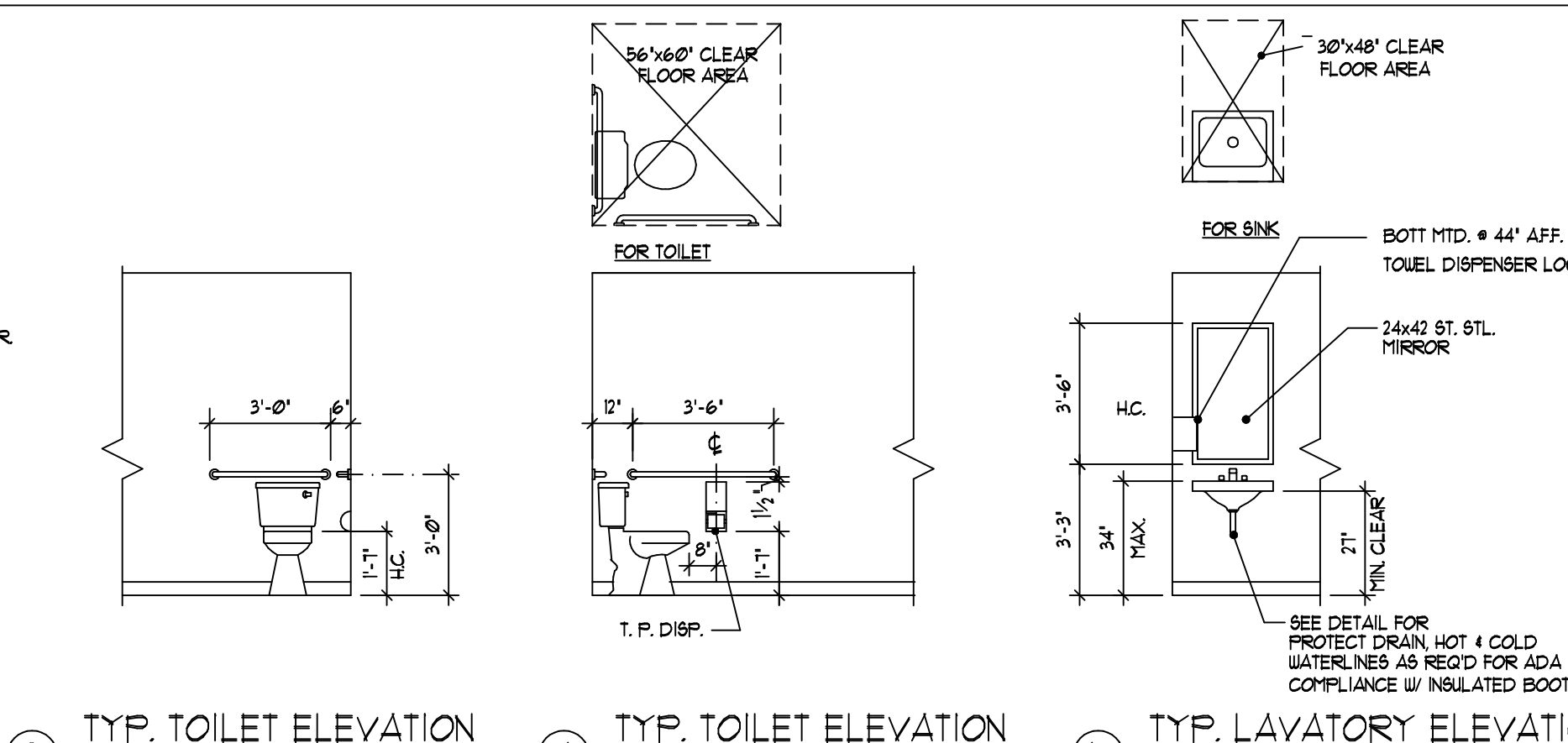
- WALL TYPES:**
- NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS #16" O.C. W/ 5/8" DRYWALL BOTH SIDES. USE MR. DIM IN BATHROOMS.
  - NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN \*SURI 01-9510-614
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  - EXIST'G CONSTRUCTION TO BE REMOVED IF BEARING. PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

BASEMENT PLAN  
 REVISED: 12-15-05  
 REVISED: 12-27-05  
 REVISED: 07-07-06  
 REVISED: 03-15-06 FLOOR FINISHES  
 12-12-05  
**LEE ARCHITECTURAL ASSOCIATES**  
 310 S. NEW ST. BETHLEHEM, PA 18015  
 PH: (610) 865-6666 FAX: (610) 865-0566  
 PROJ. #04040

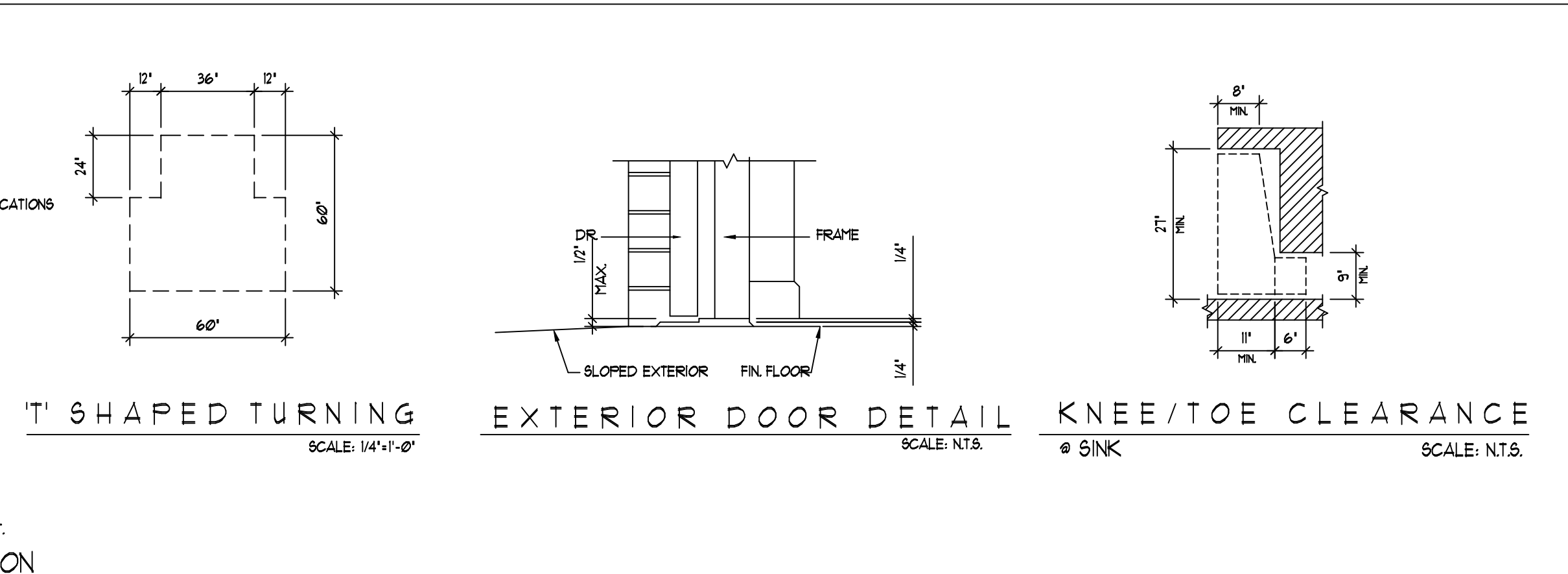
ABBE HALL  
 PERSONAL CARE HOME  
 111-113 W. FOURTH ST. BETHLEHEM, PA  
**A2.1**



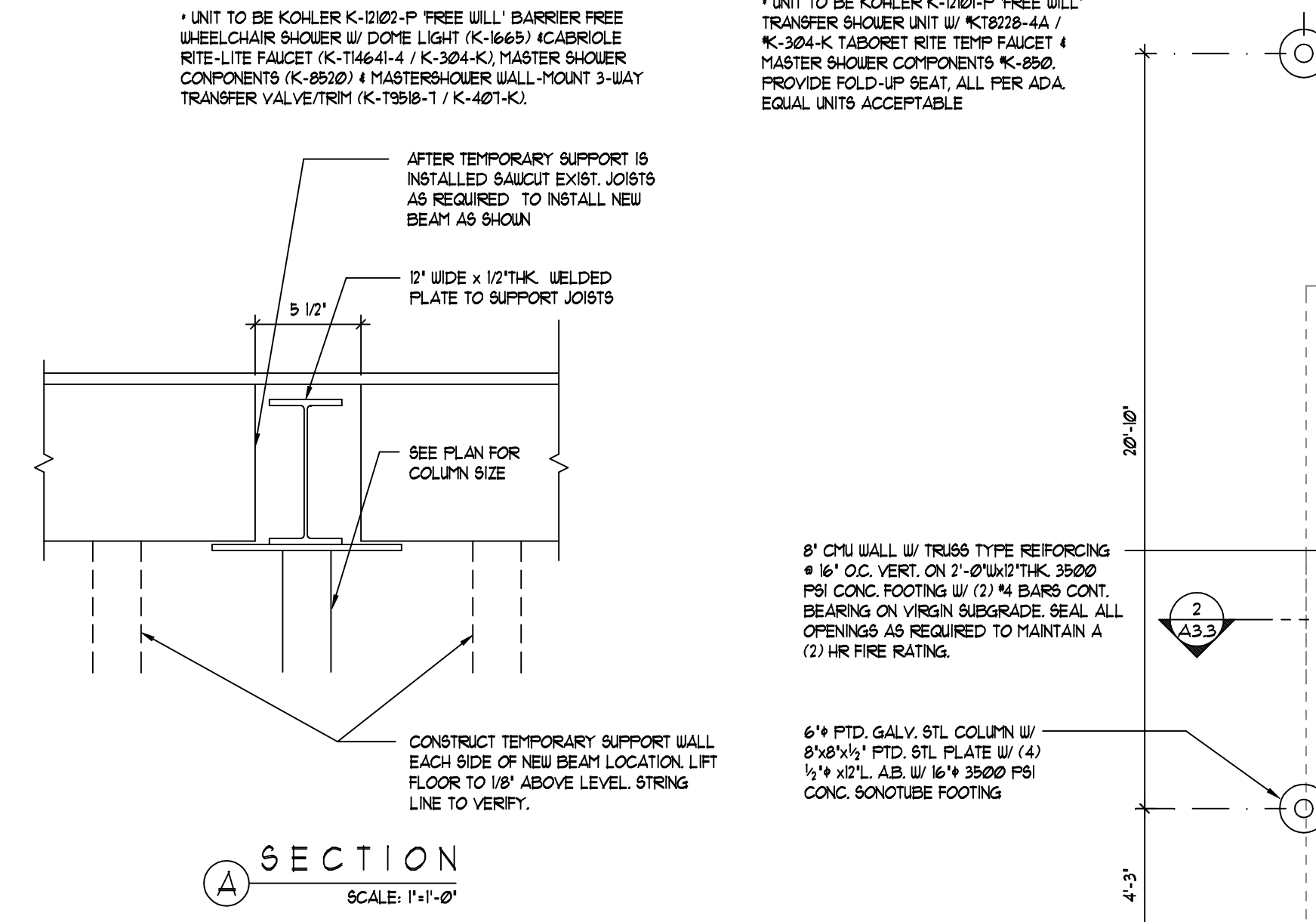
1 TYP. ROLL - IN SHOWER SCALE: 1/4"=1'-0"  
 2 TYP. HANDICAP SHOWER SCALE: 1/4"=1'-0"



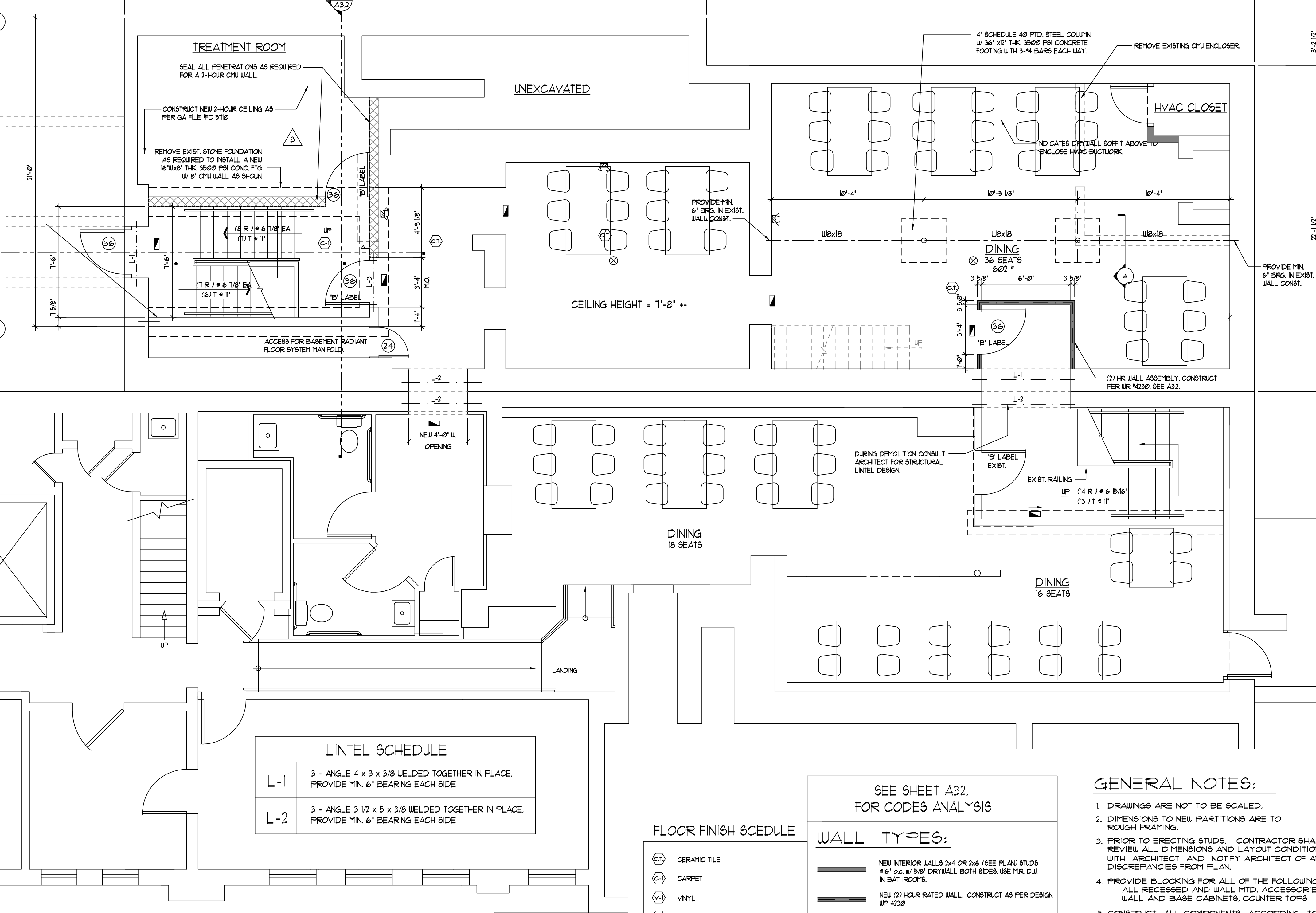
3 TYP. TOILET ELEVATION SCALE: 1/4"=1'-0"  
 4 TYP. TOILET ELEVATION SCALE: 1/4"=1'-0"  
 5 TYP. LAVATORY ELEVATION SCALE: 1/4"=1'-0"



T-SHAPED TURNING SCALE: 1/4"=1'-0"  
 EXTERIOR DOOR DETAIL SCALE: N.T.S.  
 KNEE/TOE CLEARANCE SCALE: N.T.S.



A SECTION SCALE: 1"=1'-0"



LINTEL SCHEDULE

L-1	3 - ANGLE 4 x 3 x 3/8 WELDED TOGETHER IN PLACE. PROVIDE MIN. 6" BEARING EACH SIDE
L-2	3 - ANGLE 3 1/2 x 5 x 3/8 WELDED TOGETHER IN PLACE. PROVIDE MIN. 6" BEARING EACH SIDE

FLOOR FINISH SCHEDULE

(C-1)	CERAMIC TILE
(C-2)	CARPET
(C-3)	VINYL
(C-4)	PANT EXIST. FLOOR
(C-5)	QUARRY TILE
(C-6)	WOOD FLOORING
(C-7)	NON-APPLICABLE

SEE SHEET A32. FOR CODES ANALYSIS

WALL TYPES:

(Solid line)	NEW INTERIOR WALLS 2x4 OR 2x6 (SEE PLAN) STUDS @16" O.C. w/ 5/8" DRYWALL BOTH SIDES. USE MR. D.W. IN BATHROOMS.
(Dashed line)	NEW (2) HOUR RATED WALL. CONSTRUCT AS PER DESIGN UP 4230
(Thin solid line)	EXIST'G CONSTRUCTION TO REMAIN.
(Dotted line)	EXIST'G CONSTRUCTION TO BE REMOVED IF BEARING PROVIDE TEMPORARY SUPPORT & CONSULT ARCHITECT FOR STRUCTURAL REQUIREMENTS.

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  - CONSTRUCT ALL COMPONENTS ACCORDING TO APPLICABLE CODES AND ORDINANCES.
  - ALL DOOR HARDWARE SHALL BE LEVER AS APPROVED BY ADA.
- (A) INDICATES NEW DOOR WIDTH IN INCHES  
 (44) INDICATES EXISTING DOOR WIDTH IN INCHES  
 (X) INTERCONNECTED SMOKE DETECTORS

BASEMENT PLAN SCALE: 1/4"=1'-0"

BASEMENT PLAN

REVISIONS: 02-19-07 ROOT COUNT REVIEW  
 04-16-07 PER CITY REVIEW  
 04-17-07 PER CITY REVIEW

02-19-07

LEE ARCHITECTURAL ASSOCIATES

310 S. NEW ST. BETHLEHEM, PA 18015  
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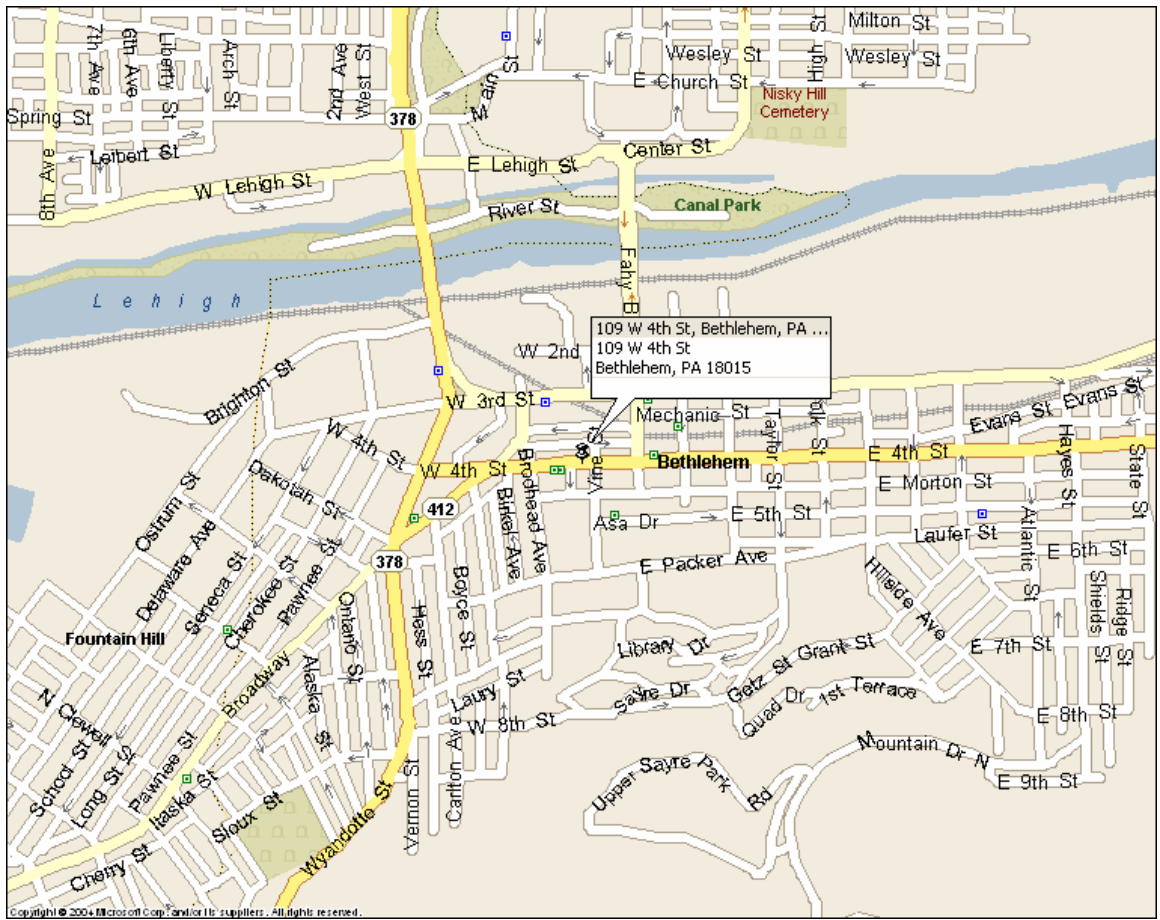
PROJ. #06023

ABBE HALL EXPANSION  
 PERSONAL CARE HOME

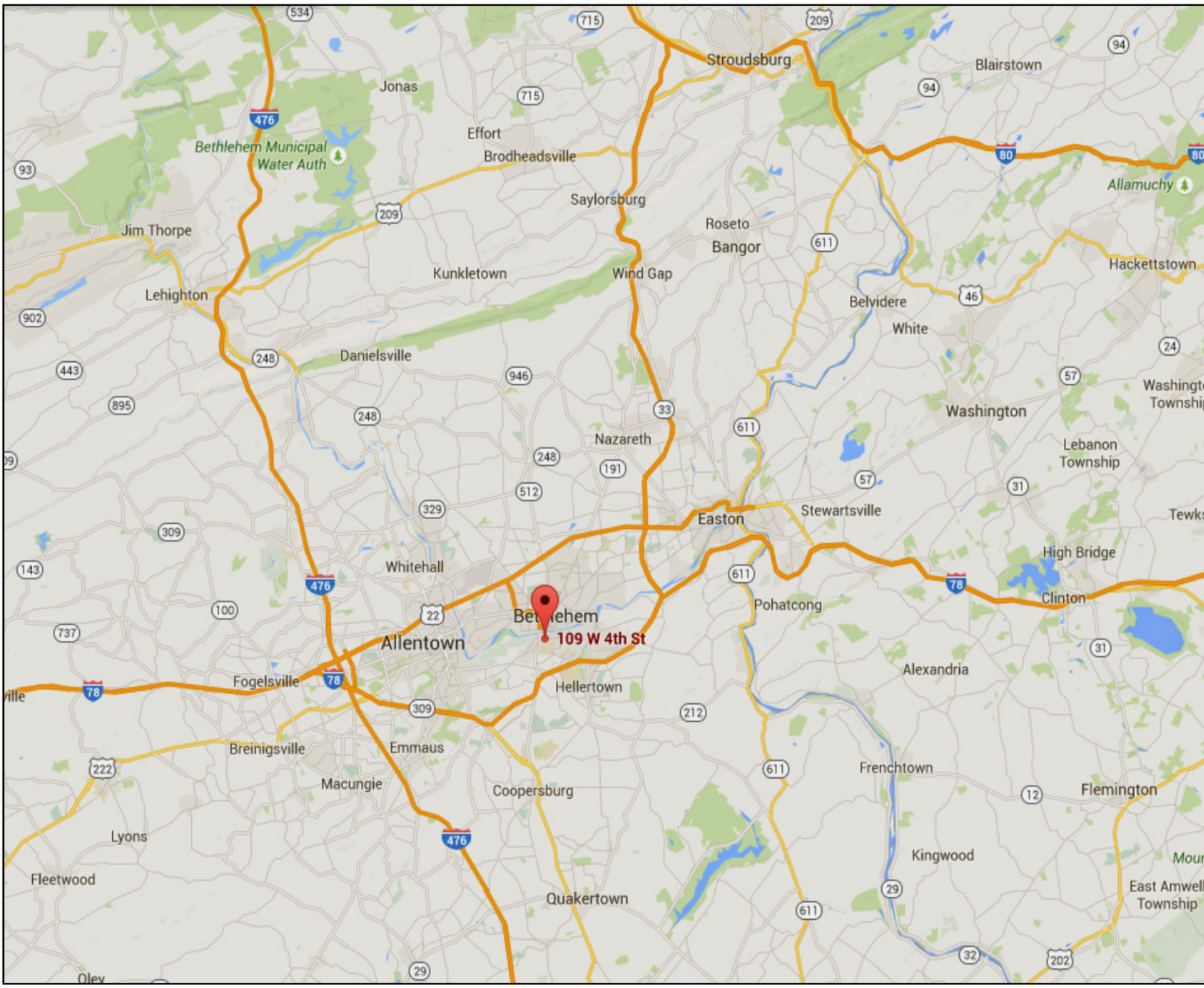
111-113 - 115 W. FOURTH ST. BETHLEHEM, PA

A2.1

### Map



# Maps



## Demographics

### Bethlehem (city), Pennsylvania

People QuickFacts	Bethlehem	Pennsylvania
Population, 2013 estimate	75,018	12,781,296
Population, 2010 (April 1) estimates base	74,982	12,702,884
Population, percent change - April 1, 2010 to July 1, 2013	Z	0.6%
Population, 2010	74,982	12,702,379
Persons under 5 years, percent, 2010	5.6%	5.7%
Persons under 18 years, percent, 2010	19.9%	22.0%
Persons 65 years and over, percent, 2010	16.2%	15.4%
Female persons, percent, 2010	51.9%	51.3%
White alone, percent, 2010 (a)	76.4%	81.9%
Black or African American alone, percent, 2010 (a)	6.9%	10.8%
American Indian and Alaska Native alone, percent, 2010 (a)	0.3%	0.2%
Asian alone, percent, 2010 (a)	2.9%	2.7%
Native Hawaiian and Other Pacific Islander alone, percent, 2010 (a)	Z	0.0%
Two or More Races, percent, 2010	3.4%	1.9%
Hispanic or Latino, percent, 2010 (b)	24.4%	5.7%
White alone, not Hispanic or Latino, percent, 2010	65.4%	79.5%
Living in same house 1 year & over, percent, 2009-2013	78.3%	88.0%
Foreign born persons, percent, 2009-2013	8.1%	6.0%
Language other than English spoken at home, pct age 5+, 2009-2013	23.0%	10.3%
High school graduate or higher, percent of persons age 25+, 2009-2013	85.7%	88.7%
Bachelor's degree or higher, percent of persons age 25+, 2009-2013	26.5%	27.5%
Veterans, 2009-2013	4,808	943,417
Mean travel time to work (minutes), workers age 16+, 2009-2013	21.8	25.9
Housing units, 2010	31,221	5,567,315
Homeownership rate, 2009-2013	52.8%	69.8%
Housing units in multi-unit structures, percent, 2009-2013	33.0%	20.5%
Median value of owner-occupied housing units, 2009-2013	\$171,600	\$164,700
Households, 2009-2013	29,593	4,958,427
Persons per household, 2009-2013	2.33	2.48
Per capita money income in past 12 months (2013 dollars), 2009-2013	\$23,827	\$28,502
Median household income, 2009-2013	\$46,292	\$52,548
Persons below poverty level, percent, 2009-2013	19.7%	13.3%



## Demographics

### Bethlehem (city), Pennsylvania

<b>Business QuickFacts</b>	<b>Bethlehem</b>	<b>Pennsylvania</b>
Total number of firms, 2007	4,890	981,501
Black-owned firms, percent, 2007	S	4.6%
American Indian- and Alaska Native-owned firms, percent, 2007	S	0.3%
Asian-owned firms, percent, 2007	S	3.2%
Native Hawaiian and Other Pacific Islander-owned firms, percent, 2007	F	0.0%
Hispanic-owned firms, percent, 2007	8.8%	2.3%
Women-owned firms, percent, 2007	30.1%	27.0%
Manufacturers shipments, 2007 (\$1000)	1,509,925	234,840,418
Merchant wholesaler sales, 2007 (\$1000)	D	142,859,202
Retail sales, 2007 (\$1000)	696,896	166,842,778
Retail sales per capita, 2007	\$9,594	\$13,323
Accommodation and food services sales, 2007 (\$1000)	141,426	19,625,449
<b>Geography QuickFacts</b>	<b>Bethlehem</b>	<b>Pennsylvania</b>
Land area in square miles, 2010	19.10	44,742.70
Persons per square mile, 2010	3,925.3	283.9
FIPS Code	06088	42
Counties	<a href="#">Lehigh County</a> <a href="#">Northampton County</a>	

(a) Includes persons reporting only one race.

(b) Hispanics may be of any race, so also are included in applicable race categories.

D: Suppressed to avoid disclosure of confidential information

F: Fewer than 25 firms

FN: Footnote on this item for this area in place of data

NA: Not available

S: Suppressed; does not meet publication standards

X: Not applicable

Z: Value greater than zero but less than half unit of measure shown

Source U.S. Census Bureau: State and County QuickFacts. Data derived from Population Estimates, American Community Survey, Census of Population and Housing, County Business Patterns, Economic Census, Survey of Business Owners, Building Permits, Census of Governments

Last Revised: Friday, 29-May-2015 15:08:22 EDT



**CONFIDENTIALITY AGREEMENT**

**109-113 West Fourth Street, Bethlehem, PA 18015**

**FOR MORE INFORMATION ABOUT THIS PROPERTY COMPLETE THIS FORM.**

**E-MAIL TO: INFO@PRESTIGEGROUP.COM OR FAX TO: 610.902.0800**

This Offering Memorandum has been prepared by Prestige Group for use by a limited number of parties and does not purport to provide a necessarily accurate summary of the property or any of the documents related thereto, nor does it purport to be all-inclusive or to contain all of the information which prospective investors may need or desire. All projections have been developed by the Prestige Group, the Owners and designated sources and are based upon assumptions relating to the general economy, competition and other factors beyond the control of the Owners, and therefore are subject to variation. No representation is made by Prestige Group or Owners as to the accuracy or completeness of the information contained herein, performance of the Property. Although the information contained herein is believed to be correct, Owners and its employees disclaim any responsibility for inaccuracies and expect prospective purchasers to exercise due diligence in verifying all such information. Further Prestige Group, Owners and its employees disclaim any and all liability for representations and warranties, expressed and implied, contained in, or for omissions from Memorandum or any other written or oral communication transmitted or made available to the recipient. The Offering Memorandum does not constitute a representation that there has been non-change in the business or affairs of the Property or the information contained in the Offering Memorandum is solely the responsibility of the prospective Buyers.

The Owners and Prestige Group each expressly reserve the right, in their sole discretion, to reject any and all expressions of interest or offering regarding the Property and/or terminate discussions with any entity at any time with or without notice. The Owners shall have no legal commitment or obligation to any entity reviewing the Offering Memorandum or making an offer to purchase the Property unless and until a written agreement for the purchase of the property has been fully executed, delivered and approved by the Owners and its legal counsel, and any conditions to the Owner’s obligations there under have been satisfied or waived. Prestige Group is not authorized to make any representations or agreements on behalf of Owners.

This Memorandum and its contents, except such information, which is a matter of public record or is provided in sources available to the public (such contents as so limited herein called “Contents”, are of a confidential nature. By accepting the Offering Memorandum, you agree (I) to hold and treat it in the strictest of confidence, (II) not to photocopy, email or duplicate it, (III) not to disclose the offering Memorandum or any of its contents to any other entity (except outside advisors retained by you, if necessary, for your confidentiality) without the prior written authorization of the Owners or Prestige Group (IV) not to use the Offering Memorandum or any of the contents in any fashion or manner detrimental to the interest of the Owners or Prestige Group and (V) to return it to Prestige Group immediately upon request of Prestige Group or Owners.

In consideration for this introduction, Buyer agrees that should Buyer enter into negotiations or agreements with respect to the Property the same shall be done through Prestige Group. In the event that Buyer violates this Agreement, both Prestige Group and Owner(s) shall be entitled to all remedies provided by law, including, but not limited to, injunctive relief and damages. In the event that Buyer disclosed the availability of above to a third party and this third party purchases the above Property(s) without Prestige Group, then Buyer in addition to the remedies specified herein, will also be responsible for the payment of Prestige Group’s commission.

Buyer acknowledges that they are working with Prestige Group as Exclusive Broker and are not represented by any other real estate broker or agent. You also agree that you will not use this Investment Offering Package or any of its contents in any manner detrimental to the interest of the Owner or Prestige Group and will not contact Owner directly or indirectly under any circumstances. Additional information and an opportunity to inspect the Property will be made upon written request to qualified prospective Buyers.

ACKNOWLEDGED, AGREED AND ACCEPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by

\_\_\_\_\_  
Buyer’s Signature

\_\_\_\_\_  
Buyer’s Name (Print)

\_\_\_\_\_  
Buyer’s Mailing Address (Print)

\_\_\_\_\_  
Buyer’s Office Number

\_\_\_\_\_  
Buyer’s fax Number

\_\_\_\_\_  
Buyer’s Company (Print)

\_\_\_\_\_  
Buyer’s E-mail Address (Print)

\_\_\_\_\_  
Buyer’s Mobile Number

## CONSUMER NOTICE

### THIS IS NOT A CONTRACT

Pennsylvania Law requires real estate brokers and salespersons (licensees) to advise consumers who are seeking to sell or purchase residential or commercial real estate or tenants who are seeking to lease residential or commercial real estate where the licensee is working on behalf of the tenant of the business relationships permitted by the Real Estate Licensing and Registration Act. **This notice must be provided to the consumer at the first contact where a substantive discussion about real estate occurs unless an oral disclosure has been previously provided. If the oral disclosure was provided, this notice must be provided at the first meeting or the first time a property is shown to the consumer by the broker or salesperson. Before you disclose any information to a licensee, be advised that unless you select an agency relationship, the licensee is NOT REPRESENTING YOU. A business relationship of any kind will NOT be presumed but must be established between the consumer and the licensee.**

Any licensee who provides you with real estate services owes you the following duties:

Exercise reasonable professional skill and care which meets the practice standards required by the Act

Deal honestly and in good faith. Present, in a reasonably practicable period of time, all offers, counteroffers, notices, and communications to and from the parties in writing. The duty to present written offers and counteroffers may be waived if the waiver is in writing. Comply with Real Estate Seller Disclosure Act Account for escrow and deposit funds.

Disclose all conflicts of interest in a reasonably practicable period of time.

Provide assistance with document preparation and advise the consumer regarding compliance with laws pertaining to real estate transactions. Advise the consumer to seek expert advice on matters about the transaction that are beyond the licensee's expertise.

Keep the consumer informed about the transaction and the tasks to be completed.

Disclose financial interest in a service, such as financial, title transfer and preparation services, insurance, construction, repair or inspection, at the time service is recommended or the first time the licensee learns that the service will be used.

A licensee may have the following business relationships with the consumer:

#### **Seller Agency:**

Seller agency is a relationship where the licensee, upon entering into a written agreement, works only for a seller/landlord. Seller's agents owe the additional duties of:

- *Loyalty* to the seller/landlord by acting in the seller's/landlord's best interest
- *Confidentiality*, except that a licensee has a duty to reveal known material defects about the property.
- Making a *continuous and good faith effort* to find a buyer for the property, except while the property is subject to an existing agreement Disclosure to other parties in the transaction that the licensee has been engaged as a seller's agent

A seller's agent may compensate other brokers as *subagents* if the seller/landlord agrees in writing. Subagents have the same duties and obligations as the seller's agent. Seller's agents may also compensate buyer's agents and transaction licensees who do not have the same duties and obligations as seller's agents. If you enter into a written agreement, the licensees in the real estate company owe you the additional duties identified above under seller agency. The exception is designated agency. See the designated agency section in this notice for more information.

#### **Buyer Agency:**

Buyer agency is a relationship where the licensee, upon entering into a written agreement, works only for the buyer/tenant

Buyer's agents owe the additional duties of:

*Loyalty* to the buyer/tenant by acting in the buyer's/tenant's best interest

*Confidentiality*, except that a licensee is required to disclose known material defects about the property.

Making a *continuous and good faith effort* to find a property for the buyer/tenant, except while the buyer/tenant is subject to an existing contract

Disclosure to other parties in the transaction that the licensee has been engaged as a buyer's agent

A buyer's agent may be paid fees, which may include a percentage of the purchase price, and, even if paid by the seller/landlord, will represent the interests of the buyer Agent If you enter into a written agreement, the licensees in the real estate company owe you the additional duties identified above under buyer agency. The exception is designated agency. See the designated agency section in this notice for more information.

#### **Dual Agency:**

Dual agency is a relationship where the licensee acts as the agent for both the seller/landlord and the buyer/tenant in the same transaction with the written consent of all parties. Dual agents owe the additional duties of:

Taking no action that is *adverse or detrimental* to either party's interest in the transaction.

Unless otherwise agreed to in writing, making a *continuous and good faith effort* to find a buyer for the property and a property for the buyer, unless either are subject to an existing contract.

- Confidentiality, except that a licensee is required to disclose known material defects about the property.

**Designated Agency:**

In designated agency, the employing broker may, with your consent, designate one or more licensees from the real estate company to represent you. Other licensees in the company may represent another party and shall not be provided with any confidential information. The designated agent(s) shall have the duties as listed above under seller agency and buyer agency.

In designated agency, the employing broker will be a dual agent and have the additional duties of:

- Taking reasonable care to protect any confidential information disclosed to the licensee.
- Taking responsibility to direct and supervise the business activities of the licensees who represent the seller and buyer

while taking no action that is adverse or detrimental to either party's interest in the transaction. The designation may take place at the time that the parties enter into a written agreement, but may occur at a later time. Regardless of when the designation takes place, the employing broker is responsible for ensuring that confidential information is not disclosed.

**Transaction Licensee:**

A transaction licensee is a broker or salesperson who provides communication or document preparation services or performs other acts for which a license is required **WITHOUT being the agent or advocate** for either the seller/landlord or the buyer/ tenant Upon signing a written agreement or disclosure statement, a transaction licensee has the additional duty of limited confidentiality in that the following information may not be disclosed:

- The seller/landlord will accept a price less than the asking/listing price.
- The buyer/tenant will pay a price greater than the price submitted in a written offer. The seller/landlord or buyer/tenant will agree to financing terms other than those offered.

Other information deemed confidential by the consumer shall not be provided to the transaction licensee.

**OTHER INFORMATION ABOUT REAL ESTATE TRANSACTIONS**

The following are negotiable and shall be addressed in an agreement/disclosure statement with the licensee:

- The duration of the employment, listing agreement or contract
- The fees or commissions.
- The scope of the activities or practices.
- The broker's cooperation with other brokers, including the sharing of fees.

Any sales agreement must contain the zoning classification of a property except in cases where the property is zoned solely or primarily to permit single family dwellings.

A Real Estate Recovery Fund exists to reimburse any person who has obtained a final civil judgment against a Pennsylvania real estate licensee owing to fraud, misrepresentation, or deceit in a real estate transaction and who has been unable to collect the judgment after exhausting all legal and equitable remedies. For complete details about the Fund, call (717) 783-3658.

**ACKNOWLEDGMENT**

I acknowledge that I have received this disclosure.

Date: \_\_\_\_\_

Print (Consumer)

Print (Consumer)

Signed (Consumer)

Signed (Consumer)

Address (optional)

Address (optional)

Phone # (optional)

Phone # (optional)

I certify that I have provided this document to the above consumer.

Date \_\_\_\_\_

Print (Licensee)

Signed (Licensee)

Adopted by the State Real Estate Commission at 49 Pa Code §35.336.